

NOTICE TO THE AUDIENCE: Please remember that if you are interested in matters on the agenda that will have subsequent meetings, it is your responsibility to note their dates, times, and places. No further letters or reminders will be sent. Of course, if you have any questions about any given matter, do not hesitate to contact the Planning Department in the City Hall Annex, 4403 Devils Glen Road, Bettendorf, Iowa 52722 or phone (563) 344-4100.

The Planning and Zoning Commission meeting will be open to the public. The City of Bettendorf will broadcast this public meeting online at <http://www.bettendorf.org/live-meeting>.

PLANNING AND ZONING COMMISSION
CITY OF BETTENDORF
FEBRUARY 15, 2023 AT 5:30 PM
CITY HALL COUNCIL CHAMBERS
1609 STATE STREET

1. Roll Call: Gannaway _____, Gibson _____, Kappeler _____, Ormsby _____, Satterfield _____, Stoltenberg _____, Wennlund _____
2. Approval of minutes of the meeting of January 18, 2023.
3. Review of Commission procedures.

Site Development Plan

4. Case 23-006; 3240 – 62nd Street (Lot 3, Bettendorf Industrial Park 5th Addition), submitted by Brent Martin. (Staff: Beck)
5. Case 23-011; 6125 Valley Drive, submitted by Jeff Hartman. (Staff: Beswick)

Future Land Use Map Amendment/Rezoning

6. Case 23-013; SW corner of Devils Glen Road and Forest Grove Drive, Open Space and Parks to UMI Urban Medium-Intensity, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Deferred to meeting of March 15, 2023)
7. Case 23-014; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to C-2 Community Commercial District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Deferred to meeting of March 15, 2023)

8. Case 23-015; SW corner of Devils Glen Road and Forest Grove Drive, R-1 Single-Family Residence District to C-2 Community Commercial District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Deferred to meeting of March 15, 2023)
9. Case 23-016; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-4 Medium-Density Multi-Family Residence District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Deferred to meeting of March 15, 2023)
10. Case 23-017; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-1 Single-Family Residence District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Deferred to meeting of March 15, 2023)

Site Development Plan (DCA District)

11. Case 22-097; 3150 Glenbrook Circle South, submitted by Nelson Construction and Development. (Staff: Hunt) (Deferred from meeting of January 18, 2023)

Other

12. Commission Update.



The materials for the Planning and Zoning Commission meeting can be accessed by scanning the QR code.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND OTHER APPLICABLE FEDERAL AND STATE LAWS, ALL PUBLIC HEARINGS AND MEETINGS HELD OR SPONSORED BY THE CITY OF BETTENDORF, IOWA, WILL BE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. PERSONS REQUIRING AUXILIARY AIDS AND SERVICES SHOULD CONTACT BETTENDORF CITY HALL AT (563) 344-4000 FIVE (5) DAYS PRIOR TO THE HEARING OR MEETING TO INFORM OF THEIR ANTICIPATED ATTENDANCE. TEXT TELEPHONE (TTY) IS AVAILABLE AT (563) 344-4175. IN ADDITION, PERSONS USING TEXT TELEPHONE HAVE THE OPTION OF CALLING VIA THE IOWA COMPASS VOICE/TTY BY DIALING (800) 735-2942.

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MINUTES
PLANNING AND ZONING COMMISSION
JANUARY 18, 2023
5:30 P.M.

The Planning and Zoning Commission meeting of January 18, 2023 was called to order by Stoltenberg at 5:30 p.m. in the City Hall Council Chambers, 1609 State Street.

1. Roll Call

MEMBERS PRESENT: Gannaway, Gibson, Kappeler, Satterfield, Stoltenberg, Wennlund

MEMBERS ABSENT: Ormsby

STAFF PRESENT: Taylor Beswick, City Planner; Mark Hunt, Community Development Director; Brent Morlok, City Engineer; Chris Curran, City Attorney; Troy Said, Assistant Fire Chief; Lisa Fuhrman, Secretary

2. Approval of the minutes of the meeting of December 21, 2022.

On motion by Gannaway, seconded by Wennlund, that the minutes of the meeting of December 21, 2022 be approved as submitted.

ALL AYES

Motion carried.

3. Review and approve 2022 Planning and Zoning Commission Annual Report.

On motion by Wennlund, seconded by Kappeler, that the 2022 Planning and Zoning Commission Annual Report be approved as submitted.

ALL AYES

Motion carried.

4. Election of officers.

On motion by Stoltenberg, seconded by Gannaway, that Wennlund continue to serve as Chair for 2023.

ALL AYES

Motion carried.

5. Review of Commission procedures.

Stoltenberg introduced Cory Satterfield who was appointed to the Planning and Zoning Commission after the resignation of Joe Adam.

Amended Final Plat

6. Case 23-003; FG 80 Holdings Second Addition, submitted by Focus Real Estate Development

7. Case 23-004; FG 80 Holdings Third Addition, submitted by Focus Real Estate Development

Beswick reviewed the staff reports.

On motion by Gannaway, seconded by Satterfield, that the amended final plat of FG 80 Holdings Second Addition be approved subject to staff recommendations.

ALL AYES

Motion carried.

On motion by Gannaway, seconded by Satterfield, that the amended final plat of FG 80 Holdings Third Addition be approved subject to staff recommendations.

ALL AYES

Motion carried.

Amended Site Development Plan

8. Case 23-005; Lots 3 and 4, FG 80 Holdings Second Addition, submitted by Focus Real Estate Development.

Beswick reviewed the staff report.

Gannaway asked for clarification of how the determination is made as to whether an exception or a variance is required by the Board of Adjustment. Beswick explained that a variance addresses a request for a specific numeric reduction such as for a required setback or number of parking spaces. He added that because in this instance the code does not provide a metric by which the required number of parking spaces for such a unique development could be calculated, an exception was given based on the Board's acceptance of the applicant's research of similar facilities in other cities. Curran explained that the code specifically states that the Board has the

authority to waive or reduce the parking and loading requirements for a development. He added that because of the unique nature of the area, the granting of the exception is consistent with the code. He stated that in addition, approval of a variance request requires that the applicant establish a hardship that would justify granting it but that establishment of a hardship is not required for an exception. Hunt commented that intent of the exception that was granted by the Board is still met, adding that the reconfiguration of the site will improve interior traffic circulation.

Wennlund asked if there will be other development on the lots involved in the shared parking arrangement or if those lots would just contain parking. Beswick explained that the overall concept plan shows proposed building layouts in addition to parking spaces for those lots. He added that the required number of parking spaces would be evaluated as part of the site development plan review, adding that the code allows shared parking only for uses with different peak hours of operation. Beswick stated that the condition was included so that the developer is aware of the requirement at such time as development occurs on those lots. Morlok added that the shared parking arrangement will only work one direction. He explained that when development occurs on those lots, the developer will not be allowed to count spaces from Lots 3 and 4 in order to make up for any lack in the required number of spaces.

A brief discussion was held regarding the method that was used to calculate required parking spaces for the overall development.

Kevin Koellner, the applicant, explained that one of the benefits of the reconfiguration of the parking areas is that it allows for the spaces to be more proximate to the golf and sport fields which is more convenient for customers who are visiting only one of the venues. He added that the facility has been downsized by removing some of the non-productive square footage along with some of the seating. He commented that if it becomes necessary, there are areas to the north and west where additional parking spaces could be added.

On motion by Gannaway, seconded by Wennlund, that the amended site development plan for Lots 3 and 4, FG 80 Holdings Second Addition be approved subject to staff recommendations.

ALL AYES

Motion carried.

Site Development Plan/Review of Existing DCA Plan

9. Case 22-097; 3150 Glenbrook Circle South, submitted by Nelson Construction and Development. (Deferred to meeting of February 15, 2023)

There being no further business, the meeting adjourned at approximately 6:05 p.m.



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

February 15, 2023

Staff Report

Case No. 23-006

Request: Lot 3, Bettendorf Industrial Park 5th Addition – Site Development Plan

Applicant: Brent Martin

Current Zoning Classification: I-2, General Industrial District

Current Land Use Designation: Industrial

Background Information and Facts

Brent Martin has submitted a site development plan for Lot 3, Bettendorf Industrial Park 5th Addition (see Aerial Map – Attachment A). The current zoning classification is I-2, General Industrial District, and the future land use designation is Industrial (see Zoning Map - Attachment B and Future Land Use Map - Attachment C.) The petitioner is proposing this as the first phase of many buildings at the site.

Future Land Use and Comprehensive Plan

The future land use designation of Industrial and the I-2, General Industrial District zoning district classification allows for contractor condominiums and other like buildings. Other buildings on this lot are expected to be similar. The proposed development is supportive of the Comprehensive Plan Goal C: Attract and Retain Business and Industry.

Site Development Plan Request

The Site Development Plan being requested for approval is on Lot 3, Bettendorf Industrial Park 5th Addition (see Final Plat – Attachment D). The initial phase of Lot 3's development will be a contractor condo located in the northeast corner of the lot near the eastern boundary (see Site Development Plan - Attachment E). Landscaping is sufficient for the first building with consideration of some

buffering landscaping being planted along Valley Drive. The applicant is voluntarily showing a berm along Valley Drive. The future site layout continues with more buildings expanding north and west (see Concept Plan - Attachment F). The first building will accommodate offices, storage, and a garage (see Elevations and Building Plan- Attachment G).

Thoroughfare, Emergency & Pedestrian Access

Access to the property is from State Street to 62nd Street. Access is also possible from Bear Tooth Court in the adjoining subdivision. A future connection may originate from Valley Drive, pending approval of a fully developed site plan for the parcel. The proposed entry from 62nd Street is sufficiently-sized for emergency vehicle access and the parking of vehicles, as shown. This paved parking and drive access will be a minimum of 44 feet wide. A turnaround is provided at the north end of the paving north of the proposed contractor condo. No sidewalks are required along 62nd Street.

Utilities

Utilities will be extended to Lot 3. Connections for most utilities to the site come from Valley Drive. Water service starts from the south side of Valley Drive. Natural gas will come from north of Valley Drive. Electrical connections will be required to be buried and will originate from the south side of Valley Drive. Sanitary sewer will outlet at a manhole near the 62nd Street entrance.

Storm Water Detention

Storm water detention quantity is provided for the subdivision in Lot B, Bettendorf Industrial Park 2nd Addition. Lot B collects storm water from outside the subdivision as an offset to permit the release of storm water from Lot 3, Bettendorf Industrial Park 5th Addition. Lot 3 requires no detention basin. Water quality structures as determined by the City Engineer will be provided for individual lots.

Flood Plain Requirements

Lot 3 is entirely within the 100-year flood plain or having a 1% probability of flooding during any given year (see 100 Year Flood Plain Aerial - Attachment H). The engineer for the owner of the lot will be required to submit paperwork to FEMA to receive acknowledgment that the new subdivision has been filled to an elevation 2 feet above the elevation designating 1% annual chance of flooding.

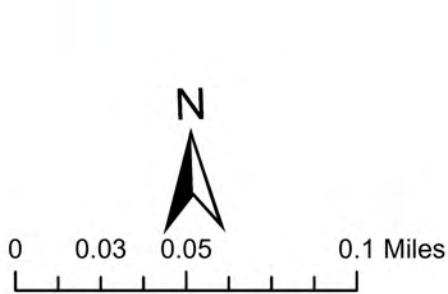
Staff Recommendation

Staff recommends approval of the site development plan subject to the following conditions:

1. The engineer for the owner of Lot 3 will be required to submit paperwork to FEMA to receive acknowledgment that the new subdivision has been filled to an elevation 2 feet above the elevation designating 1% annual chance of flooding.
2. Petitioner's engineer shall provide sanitary sewer plans for the site prior to the issuance of a building permit. Sewer must be a public main to serve future buildings.
3. Sanitary sewer easement for public sewer must be recorded prior to issuance of any construction permits.
4. No entrance from Valley Drive is allowed until such time as a subsequent site plan is brought forward for consideration. Future access to Valley Drive will be determined by the City Engineer.

Respectfully submitted,

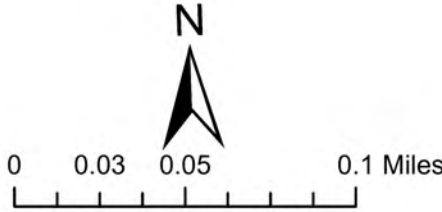
Greg Beck
City Planner



By Class

RDCLASS

- Alleyway/Access Road
- - - Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway
- <all other values>
- City Limits
- Subdivision
- Property Lines
- Creeks
- Ponds and Lakes

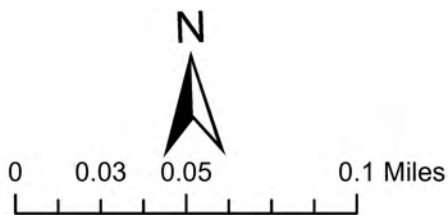
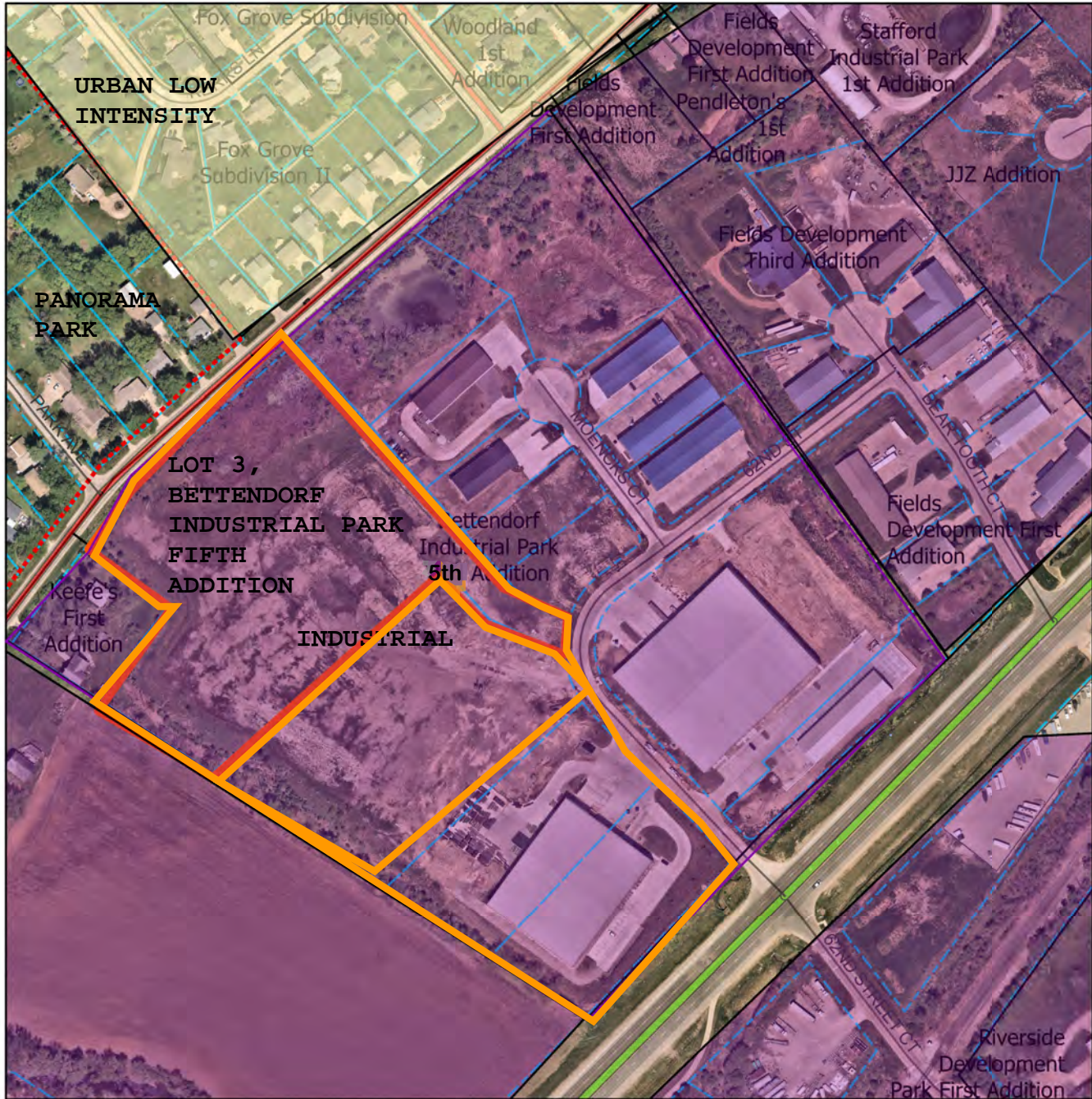


By Class
RDCLASS

- Alleyway/Access Road
- - - Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway
- <all other values>
- City Limits

Subdivision
Property Lines
Current Zoning
ZONING

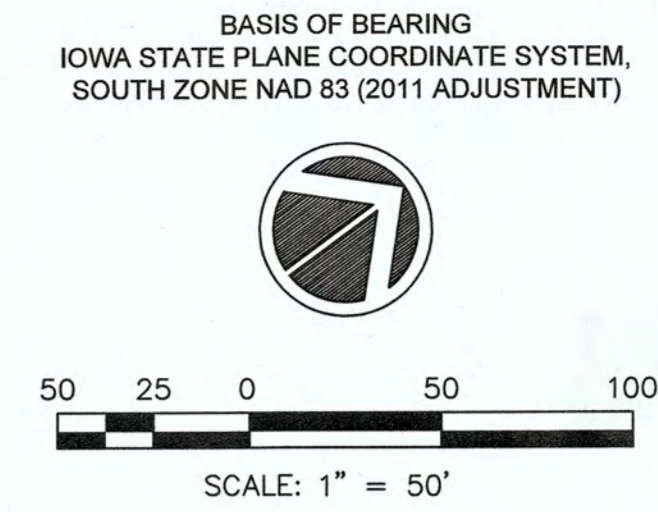
- A-1
- A-2
- C-1
- C-2
- C-3
- C-5
- C-7
- I-1
- I-2
- I-3



By Class

RDCLASS

- Alleyway/Access Road
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- County Route
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- US Highway
- <all other values>
- City Limits
- ▭ Subdivision
- ▭ Property Lines
- ▭ Creeks
- ▭ Ponds and Lakes



FINAL PLAT OF BETTENDORF INDUSTRIAL PARK 5th ADDITION
 A RE-PLAT OF LOTS 10, 11, 12 AND 13 OF BETTENDORF INDUSTRIAL PARK 2ND ADDITION, IN THE NORTHWEST QUARTER OF SECTION 24, AND THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, IN THE CITY OF BETTENDORF, COUNTY OF SCOTT, STATE OF IOWA, 16.75 Acres±

AREA TABLE

LOT	AREA S.F.±	AREA AC.±
LOT 1	216,420 SF±	4.97 AC±
LOT 2	233,198 SF±	5.35 AC±
LOT 3	279,896 SF±	6.43 AC±
TOTAL AREA	729,514 SF±	16.75 AC±

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD DISTANCE
C1	73.63'	176.00'	S 31°21'07" E	73.09'
C2	59.80'	176.00'	S 09°38'00" E	59.51'
C3	59.80'	176.00'	S 09°50'01" W	59.51'
C4	102.41'	176.00'	S 36°14'14" W	100.97'
C5	208.29'	124.00'	S 04°47'06" W	184.65'
C6	24.54'	15.00'	N 89°47'55" E	21.89'

- LEGEND**
- REBAR, FOUND
 - ▲ REBAR WITH CAP # _____, FOUND
 - △ 5/8" REBAR WITH CAP #13581 SET
 - SUBDIVISION BOUNDARY
 - EXISTING LOT LINE
 - PROPOSED LOT LINE
 - CENTERLINE
 - UNDERLYING DEED / LOT LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - SECTION LINE
 - EXISTING R.O.W. LINE
 - SETBACK LINE

- ABBREVIATIONS**
- AC ACRES
 - L LENGTH
 - R RADIUS
 - SF SQUARE FEET
 - BSL BUILDING SETBACK LINE
 - POB POINT OF BEGINNING
 - ROW RIGHT OF WAY
 - UE UTILITY EASEMENT

SURVEYOR'S NOTES

This Final Plat was prepared at the request of, and for the exclusive use of Bettindustrial, L.L.C.

It should be noted that in the performance of this re-survey, the courses and distances of the re-survey may vary from recorded calls, based on the existence of found monumentation, occupation, or other controlling calls or conditions that have occurred in the re-survey of this property.

This property is subject to any and all easements and roadways of record.

No investigation concerning environmental and subsurface conditions, or for the existence of underground containers, structures or facilities which may affect the use or development of this property was made as a part of this survey.

No investigation was made as a part of this survey to determine or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal facilities, except as noted. Call Iowa One-Call at 1-800-292-8989 for information regarding these utilities or facilities.

Part of this subdivision is subject to a Special Flood Hazard Area as designated by FEMA on Community Firm Map No. 19163C0387G with an Effective Date March 23, 2021. Furthermore, a portion of this subdivision was removed from the Special Flood Hazard Area per Determination Document (Removal) FEMA Letter of Map Revision Based on Fill; dated April 1, 2019, Case No.: 19-07-1665A and Re-validated by FEMA per Case No.: 17-07-0052V effective date March 24, 2021.

Distances are listed in feet and decimal part of a foot.

All monuments have been found or set as shown on this plat.

Plat notes establish requirements for how a subdivision will develop. However, the city reserves the right in its sole discretion to alter or amend any plat note, or to sell or vacate any right of way or utility dedicated within the plat.

Further the city reserves the right upon request of the owner to relocate any easement, alter lot boundaries or allow ground to be replatted.

Blanket underground easements granted for all primary and secondary electric cables, pad mounted transformers, electric transformers, primary cable, gas service, water service, sewer laterals, telephone service and cable T.V. to individual structures and street lights.

MID AMERICAN ENERGY CO.
 BY: *[Signature]*
 DATE: 7-11-22

MEDIACOM
 BY: *[Signature]*
 DATE: 6/20/2022

CENTURYLINK
 BY: *[Signature]*
 DATE: 6-29-2022

IOWA - AMERICAN WATER CO.
 BY: *[Signature]*
 DATE: 7-8-22

METRONET
 BY: *[Signature]*
 DATE: 7-11-22

CITY OF BETTENDORF
 BY: *[Signature]*
 DATE: July 12, 2022

PLANNING AND ZONING
 BY: *[Signature]*
 DATE: 7-13-2022



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Daryl A. Brickner, PLS No. 13581
 My license renewal date is December 31, 2023
 No. of sheets covered by this seal: 1

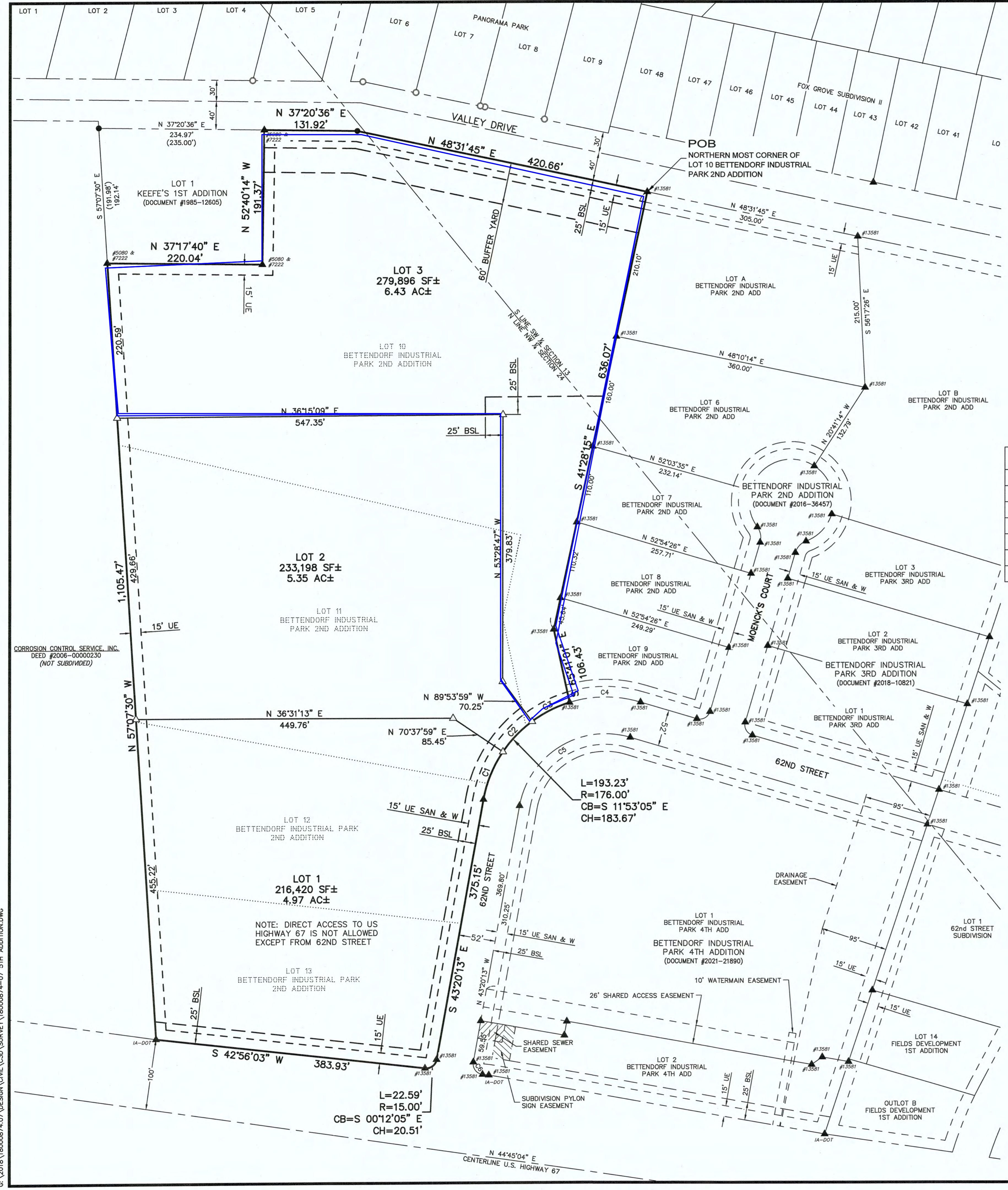
REVISIONS

No.	DESCRIPTION	DATE
1	REVISION LOT LINE LOCATION BETWEEN LOTS 1 & 2 AND WATERMAIN EASEMENT	5/4/2021



BETTENDORF INDUSTRIAL PARK 5TH ADDITION
 Bettendorf, Iowa
 Final Plat

IMEG Project No: 18000874.07
 File Name: 18000874-07 5th Addition.dwg
 © COPYRIGHT 2022 ALL RIGHTS RESERVED
 Field Book No:
 Drawn By: DAB
 Checked By: CEJ
 Date: 06/20/2022
 Sheet 1 of 1



Monday, June 20, 2022, 2:20:03 PM
 C:\2018\18000874.07\DESIGN\CIVIL\C3D\SURVEY\18000874-07_5TH_ADDITION.DWG

SITE DEVELOPMENT PLAN

BRENT MARTIN

Office / Warehouse

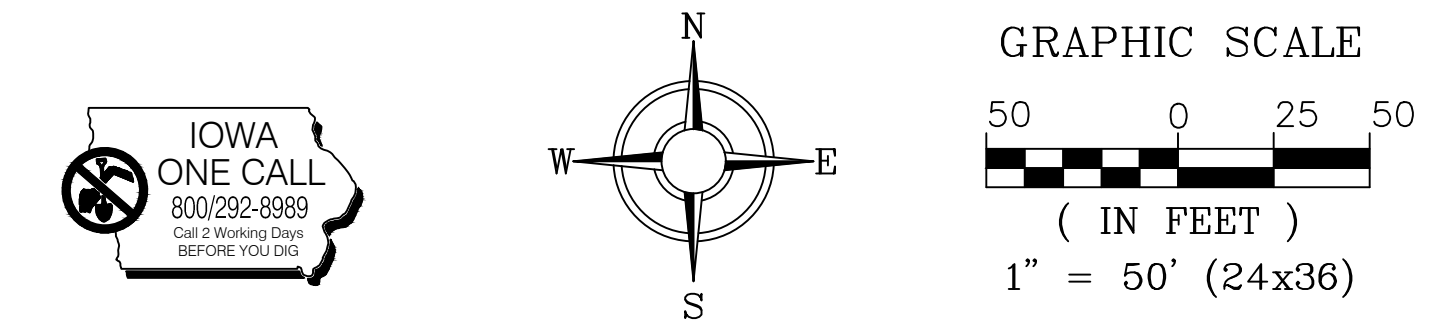
TO THE CITY OF BETTENDORF, IA

I-2 Zoning Requirements

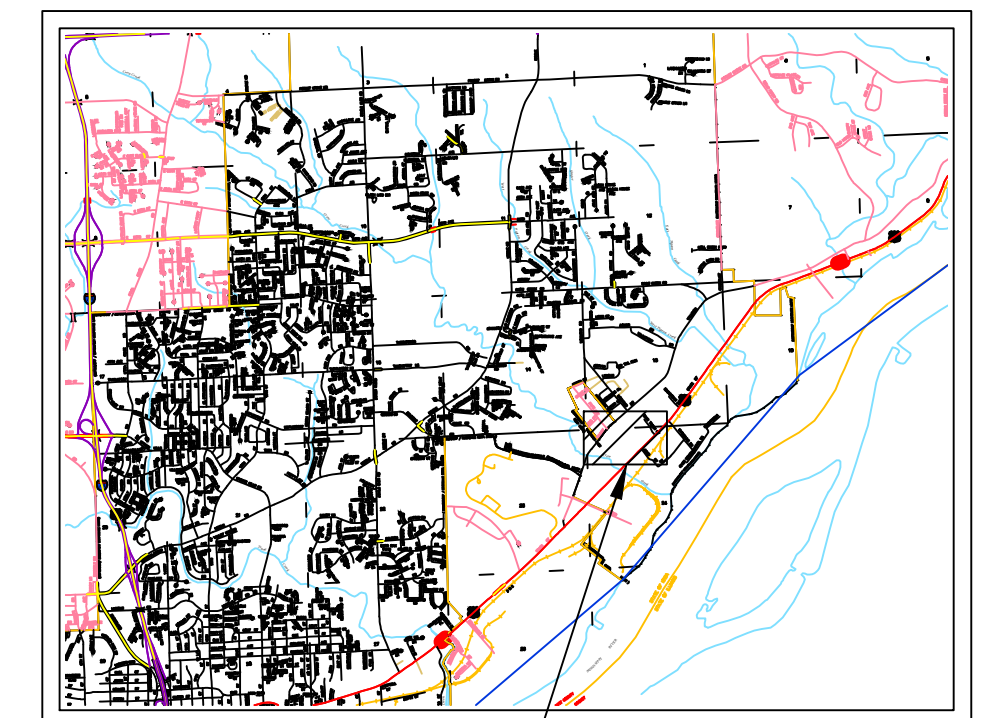
Front Yard Setback: 25' Minimum
 Side Yard Setback: 10' Minimum w/ Sum Not Less Than 25'
 Rear Yard Setback: 0' Minimum
 Parking: Equipment Servicing or Manufacturing
 1 Space for Each 2 Employees + 1 for Each Work Vehicle
 Total Required Parking Spaces = 3
 Total Required Parking Spaces = 32

Landscaping Requirements

1 Tree Factor for Every 700 S.F. of Street-Yard Greenspace
 Minimum I-2 Depth (20') x Width of the Lot (672') = 13,440 S.F. of Minimum Greenspace
 13,440 / 700 = 19.20 (20) Required Tree Factors
 Proposed Street-Yard Depth (25') x Width of the Lot (672') = 16,800 S.F. of Proposed Greenspace
 16,800-13,440 = 3,360 S.F. Bonus Greenspace
 3,360 S.F. / 13,440 S.F. = 25% Bonus Greenspace
 25% / 3% = 8% Tree-Factor Deduction
 19.20 x 92% = 17.67 (18) Required Street-Yard Tree Factors
 7% of Interior Area of Large Parking Lots Must Be Greenspace
 31,126 x .07 = 2,179 S.F. of Required Interior Greenspace
 2,179 / 500 = 4.36 (5) Required Parking-Lot Tree Factors



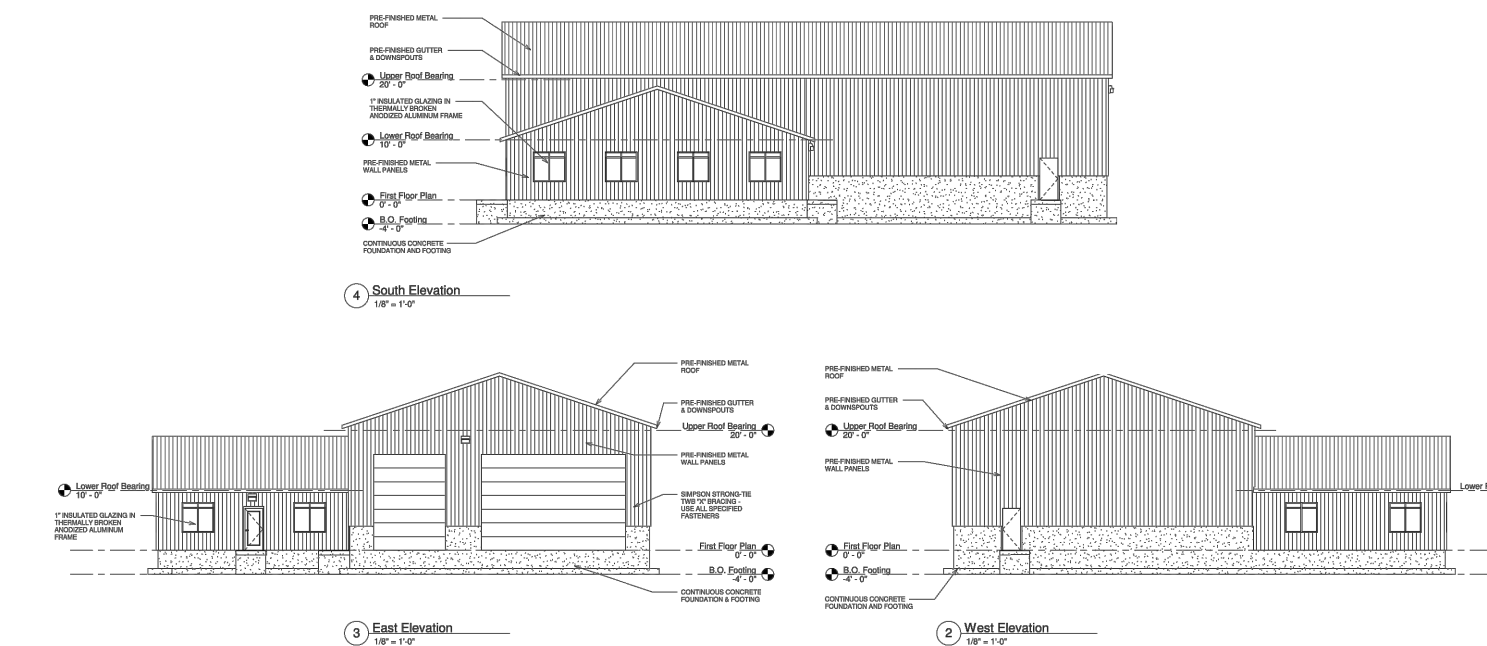
SITE LOCATION MAP



APPROXIMATE SITE LOCATION

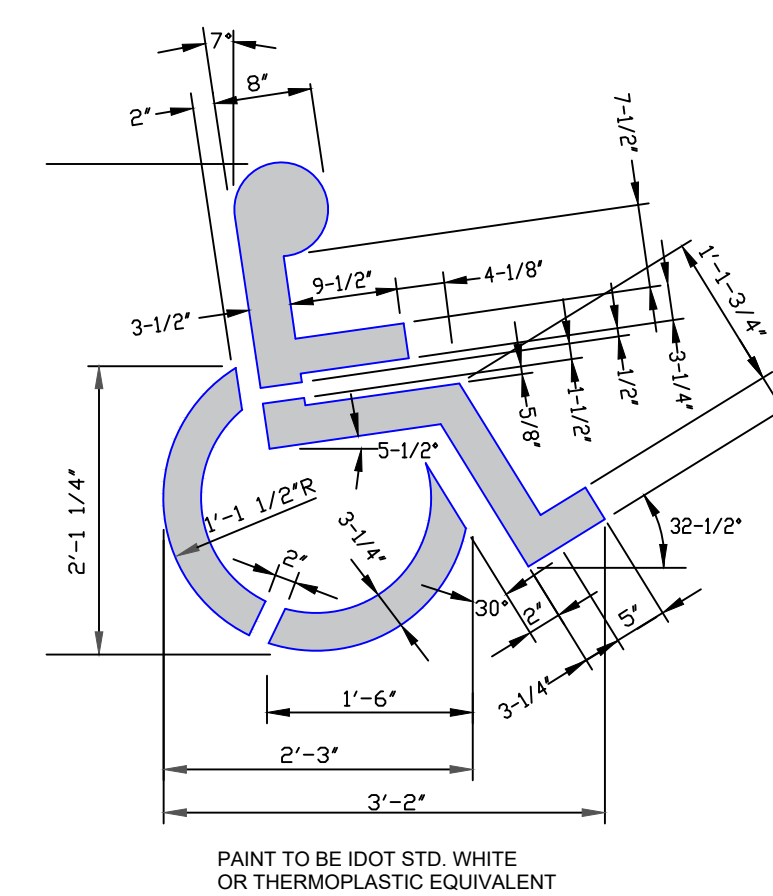
GENERAL NOTES

- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
- LEGAL DESCRIPTION OF PROPERTY: LOT 3 OF BETTENDORF INDUSTRIAL PARK FIFTH ADDITION TO THE CITY OF BETTENDORF, IOWA, PART OF THE NORTHWEST QUARTER SECTION 24, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, SCOTT COUNTY, IOWA.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF BETTENDORF AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF BETTENDORF STANDARDS AND SPECIFICATIONS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
- NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.



PROPOSED PHASE 1 BUILDING

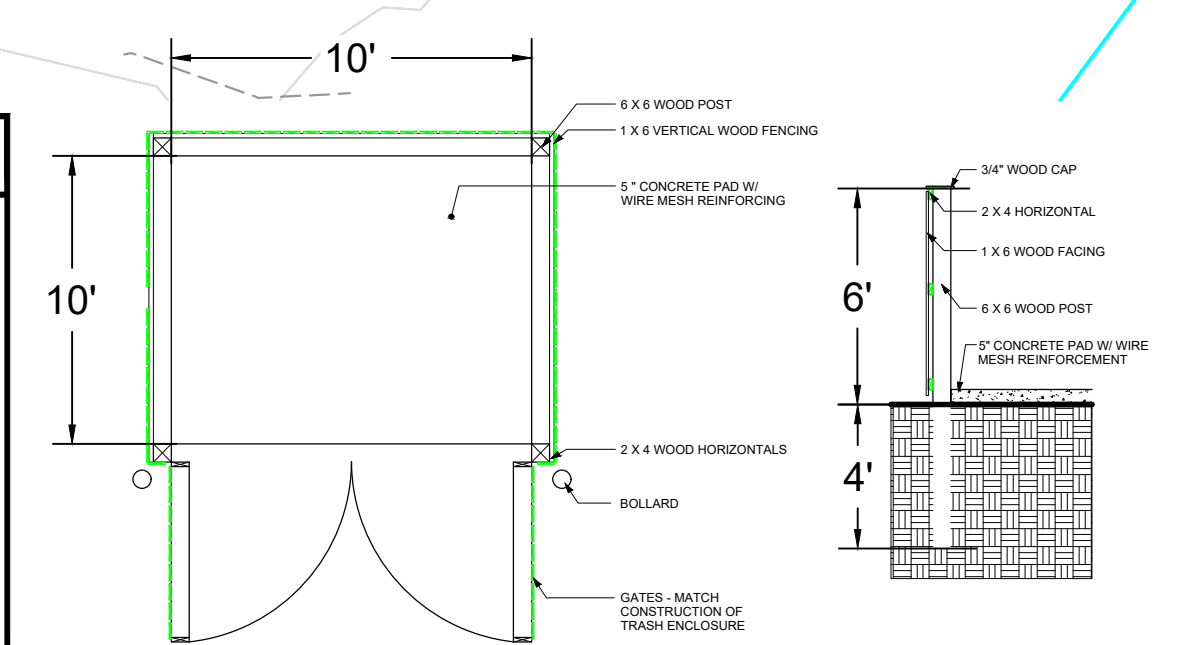
ALL PHASES BUILDING USE: CONTRACTOR STORAGE SUITES



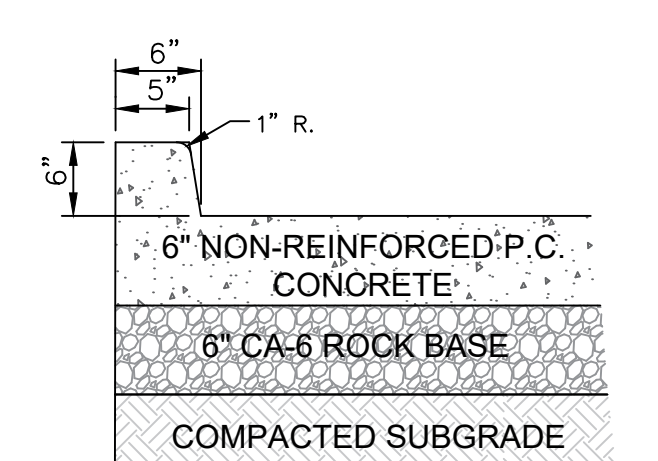
A.D.A. PARKING SYMBOL
NOT TO SCALE

NOTE: SIGNS SHALL MEET ALL OF THE REQUIREMENTS OF THE IOWA ADMINISTRATIVE CODE, LATEST EDITION FOR HANDICAPPED PARKING SIGNS.

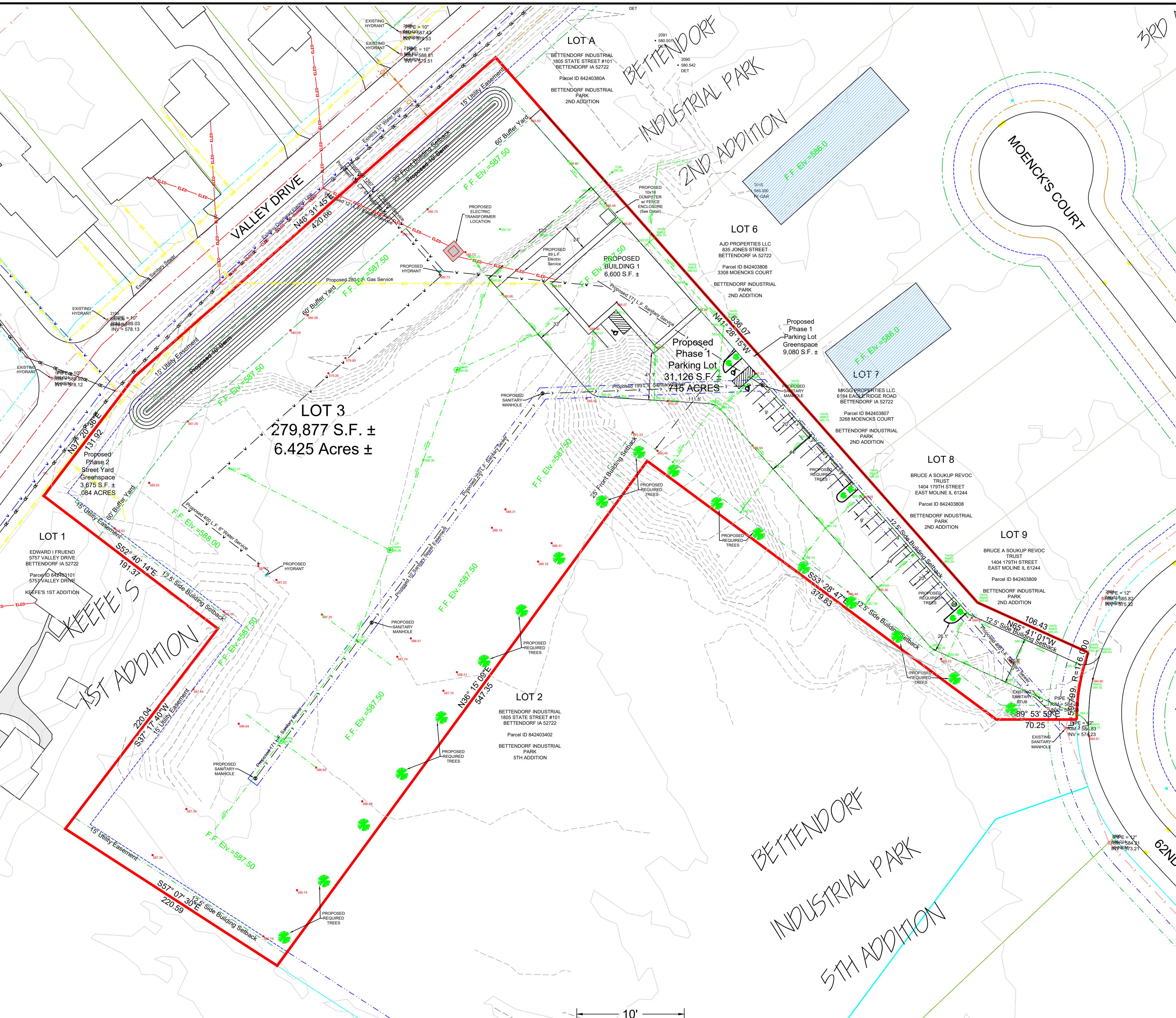
A.D.A. PARKING SIGN INSTALLATION
NOT TO SCALE



DUMPSTER DETAIL
NOT TO SCALE



TYPICAL PCC PAVING DETAIL
NOT TO SCALE



LEGEND:			
	EASEMENT		EXISTING GAS VALVE
	SETBACK LINE		EXISTING WATER VALVE
	CENTERLINE		EXISTING UTILITY POLE
	PROPERTY BOUNDARY		EXISTING TREE
	EXISTING FENCE		EXISTING BUSH
	EXISTING SANITARY		EXISTING MANHOLE
	PROPOSED SANITARY		EXISTING FIRE HYDRANT
	EXISTING STORM SEWER		FOUND PROPERTY PIN
	PROPOSED STORM SEWER		CONTROL POINT
	EXISTING WATER		SPOT ELEVATION TOP OF CURB
	PROPOSED WATER		SPOT ELEVATION FL @ GUTTER
	EXISTING GAS LINE		SPOT ELEVATION SIDEWALK
	EXISTING ELECTRIC		FINISHED FLOOR ELEVATION



DATE: 1/24/2023
 563 386.4236 office 386.4231 fax
 2224 East 12th Street, Davenport, IA 52803

DRAWN BY: TAS
 CHECKED BY: CRT
 DRAWING LOCATION: S:\MARTIN-BRENT\HWY 67 SHOP\SITE PLAN.DWG

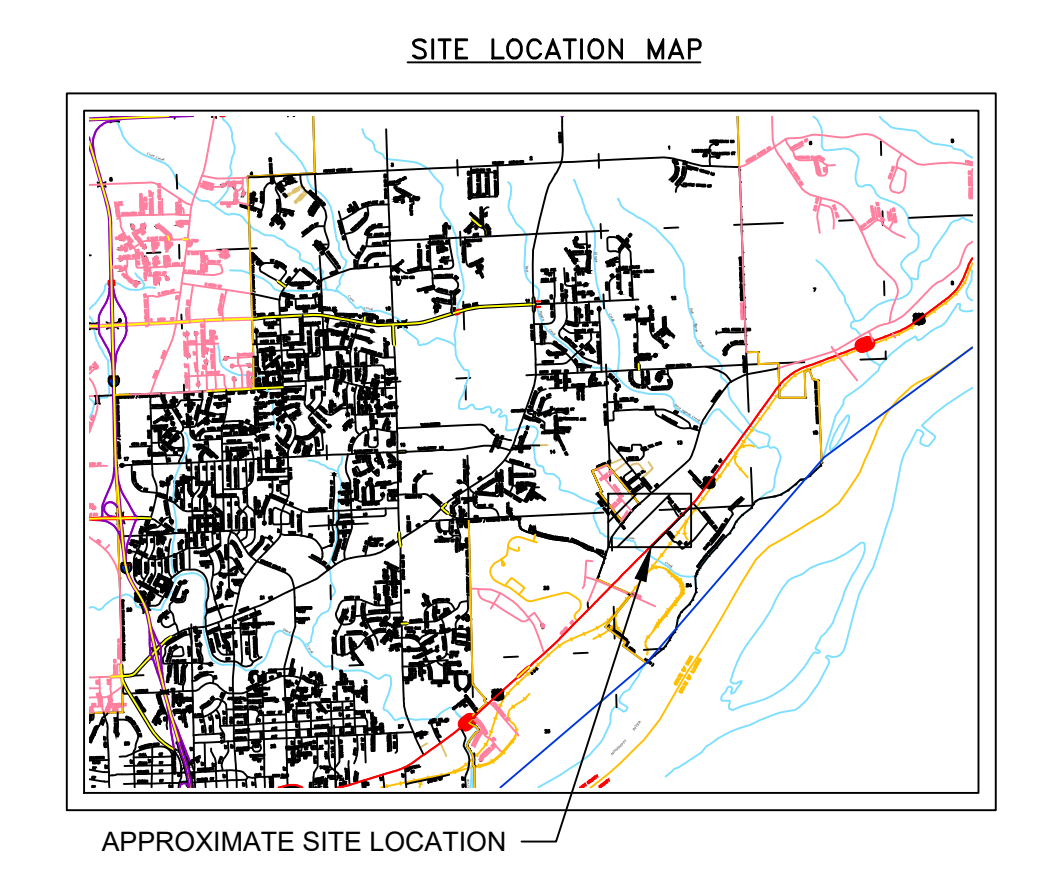
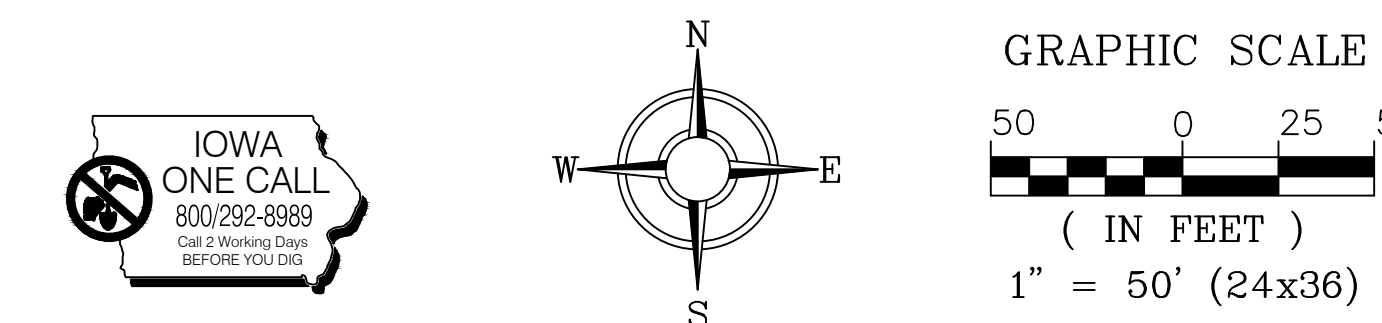
NO.	REVISIONS: DESCRIPTION	DATE
1.	PLAN SET REVISIONS PER COB REVIEW COMMENTS 2-3-23	2-7-23

PROJECT: SITE DEVELOPMENT PLAN
 OFFICE / WAREHOUSE
 PARCEL ID 842403810
 BETTENDORF, IOWA 52722

DEVELOPER: BRENT MARTIN
 P.O. BOX 1738
 BETTENDORF, IOWA 52722

SHEET NO. C1

FUTURE SITE DEVELOPMENT PLAN
BRENT MARTIN
 Office / Warehouse
 TO THE CITY OF BETTENDORF, IA



I-2 Zoning Requirements

Front Yard Setback: 25' Minimum

Side Yard Setback: 10' Minimum w/ Sum Not Less Than 25'

Rear Yard Setback: 0' Minimum

Parking: Equipment Servicing or Manufacturing
 1 Space for Each 2 Employees + 1 for Each Work Vehicle
 Total Required Parking Spaces = 30
 Total Proposed Parking Spaces = 82

Landscaping Requirements

1 Tree Factor for Every 700 S.F. of Street-Yard Greenspace

Minimum I-2 Depth (20') x Width of the Lot (672') = 13,440 S.F. of Minimum Greenspace
 13,440 / 700 = 19.20 (20) Required Tree Factors

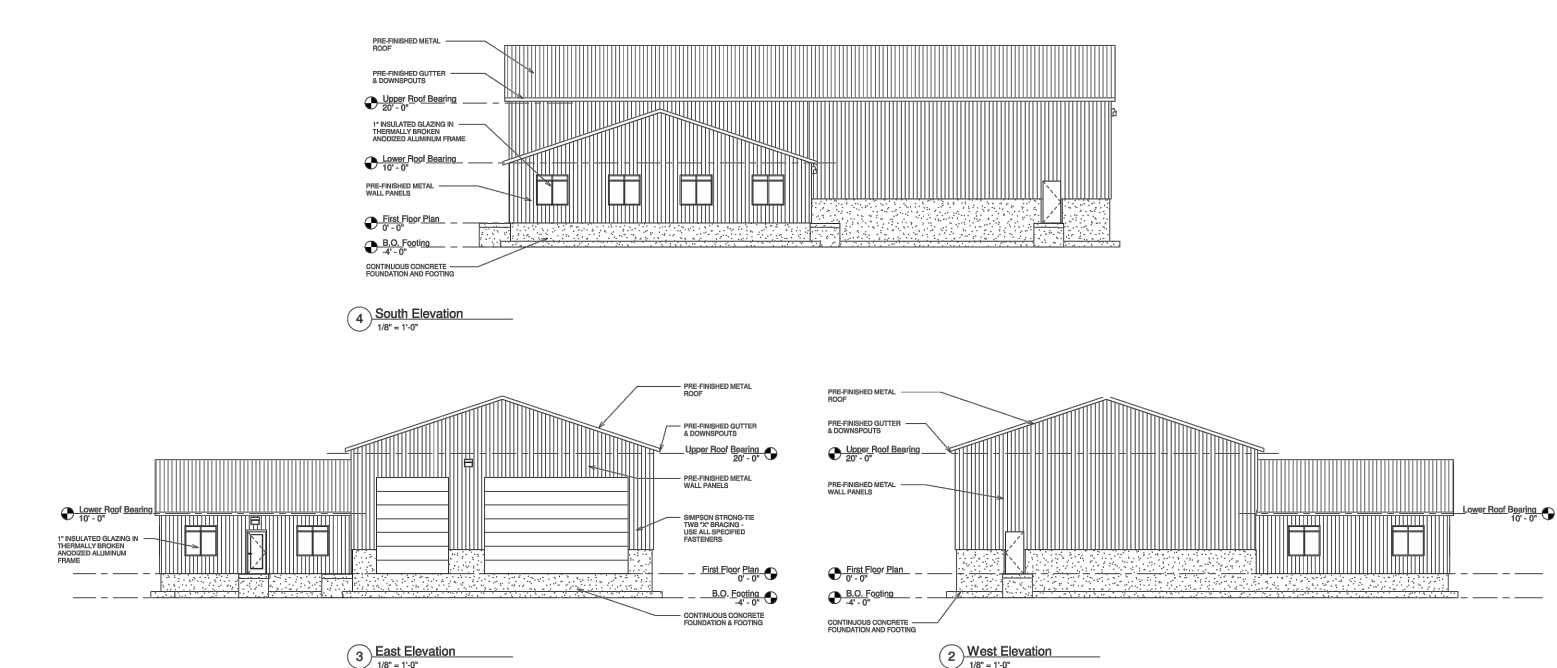
Proposed Street-Yard Depth (25') x Width of the Lot (672') = 16,800 S.F. of Proposed Greenspace
 16,800-13,440 = 3,360 S.F. Bonus Greenspace

3,360 S.F. / 13,440 S.F. = 25% Bonus Greenspace
 25% / 3% = 8% Tree-Factor Deduction

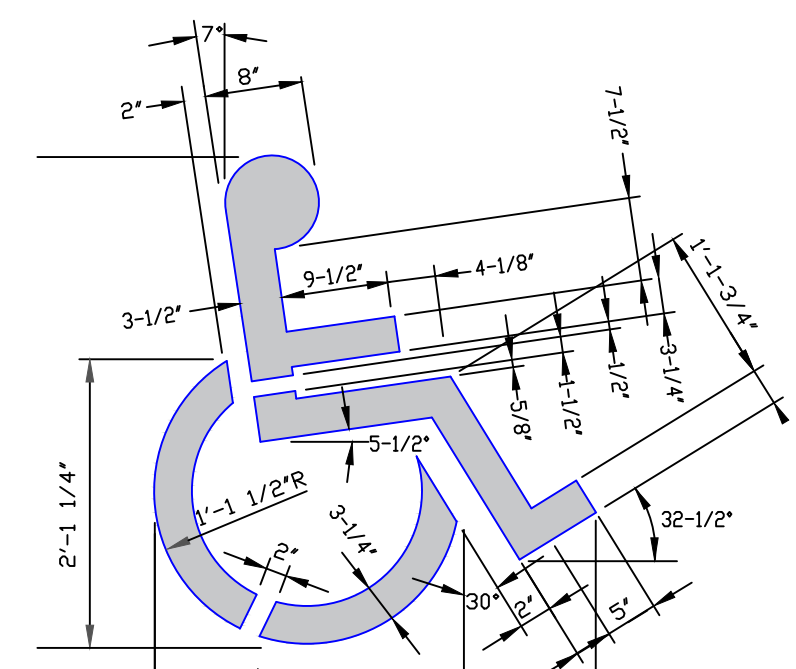
19.20 x 92% = 17.67 (18) Required Street-Yard Tree Factors

7% of Interior Area of Large Parking Lots
 Must Be Greenspace
 149,327 x .07 = 10,447 S.F. of Required Interior Greenspace

10,447 / 500 = 20.89 (21) Required Parking-Lot Tree Factors

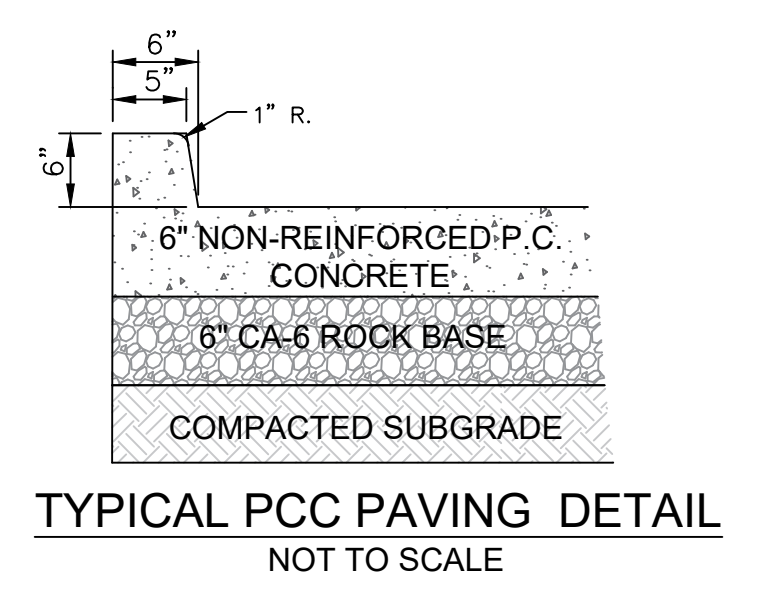


PROPOSED PHASE 1 BUILDING
 ALL PHASES BUILDING USE: CONTRACTOR STORAGE SUITES

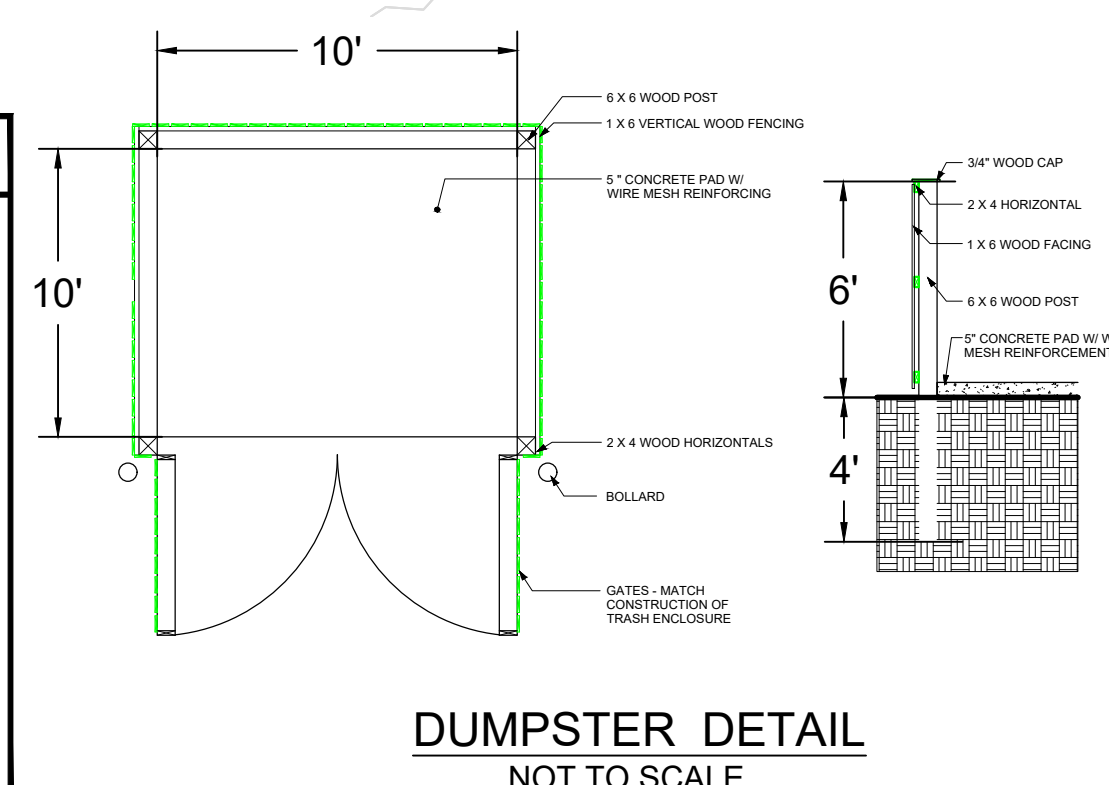


NOTE:
 SIGNS SHALL MEET ALL OF THE REQUIREMENTS OF THE IOWA ADMINISTRATIVE CODE, LATEST EDITION FOR HANDICAPPED PARKING SIGNS

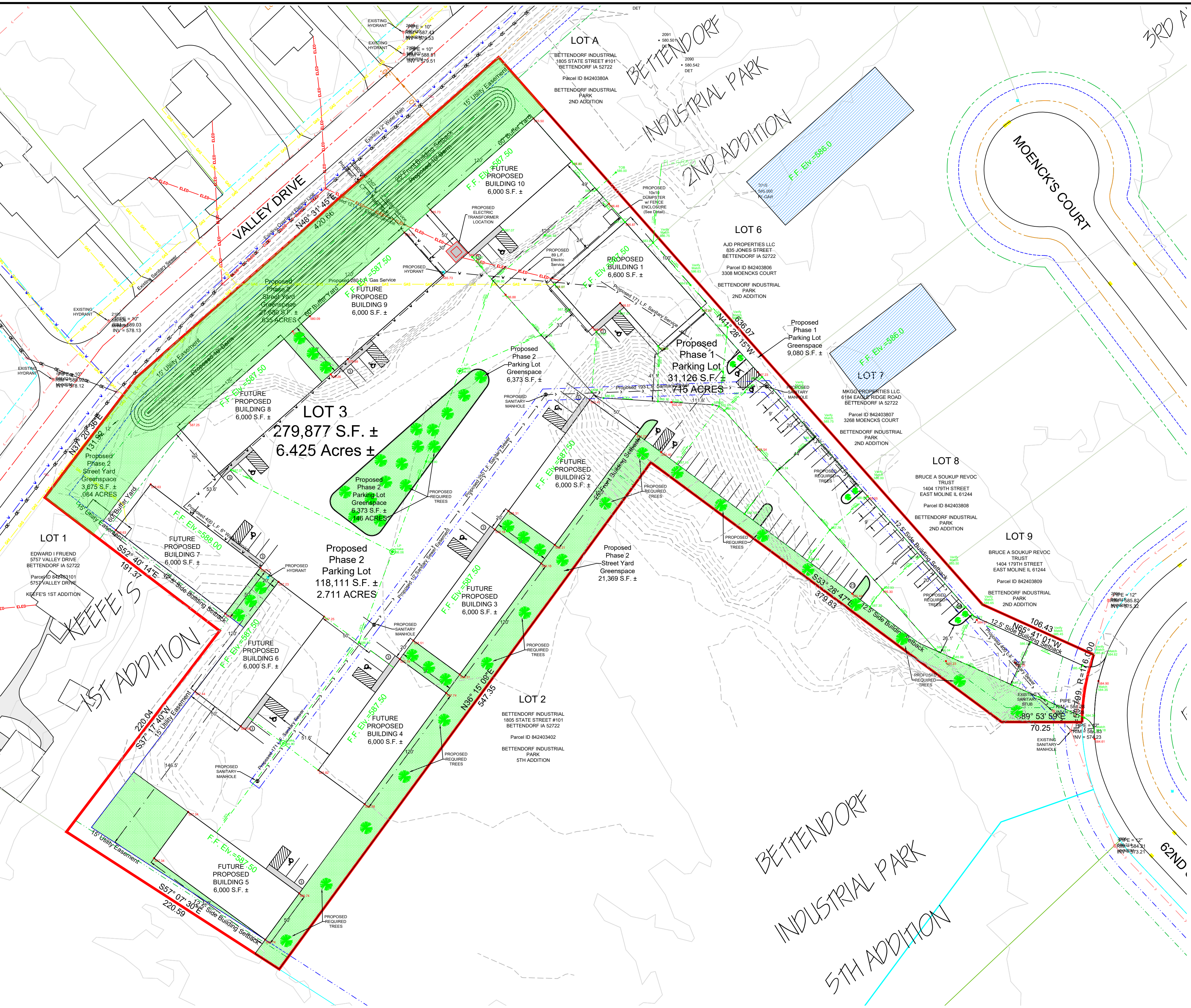
A.D.A. PARKING SIGN INSTALLATION
 NOT TO SCALE



TYPICAL PCC PAVING DETAIL
 NOT TO SCALE



DUMPSTER DETAIL
 NOT TO SCALE



LEGEND:

- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
 - LEGAL DESCRIPTION OF PROPERTY: LOT 3 OF BETTENDORF INDUSTRIAL PARK FIFTH ADDITION TO THE CITY OF BETTENDORF, IOWA, PART OF THE NORTHWEST QUARTER SECTION 24, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, SCOTT COUNTY, IOWA.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF BETTENDORF AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
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 - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.

I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

CHRISTOPHER R. TOWNSEND, P.E.
 License number: 14864
 My license renewal date is December 31, 2024.
 Pages or Sheets covered by this seal: CO-C5



DATE: 1/24/2023
 563 386.4236 office 386.4231 fax
 2224 East 12th Street, Davenport, IA 52803

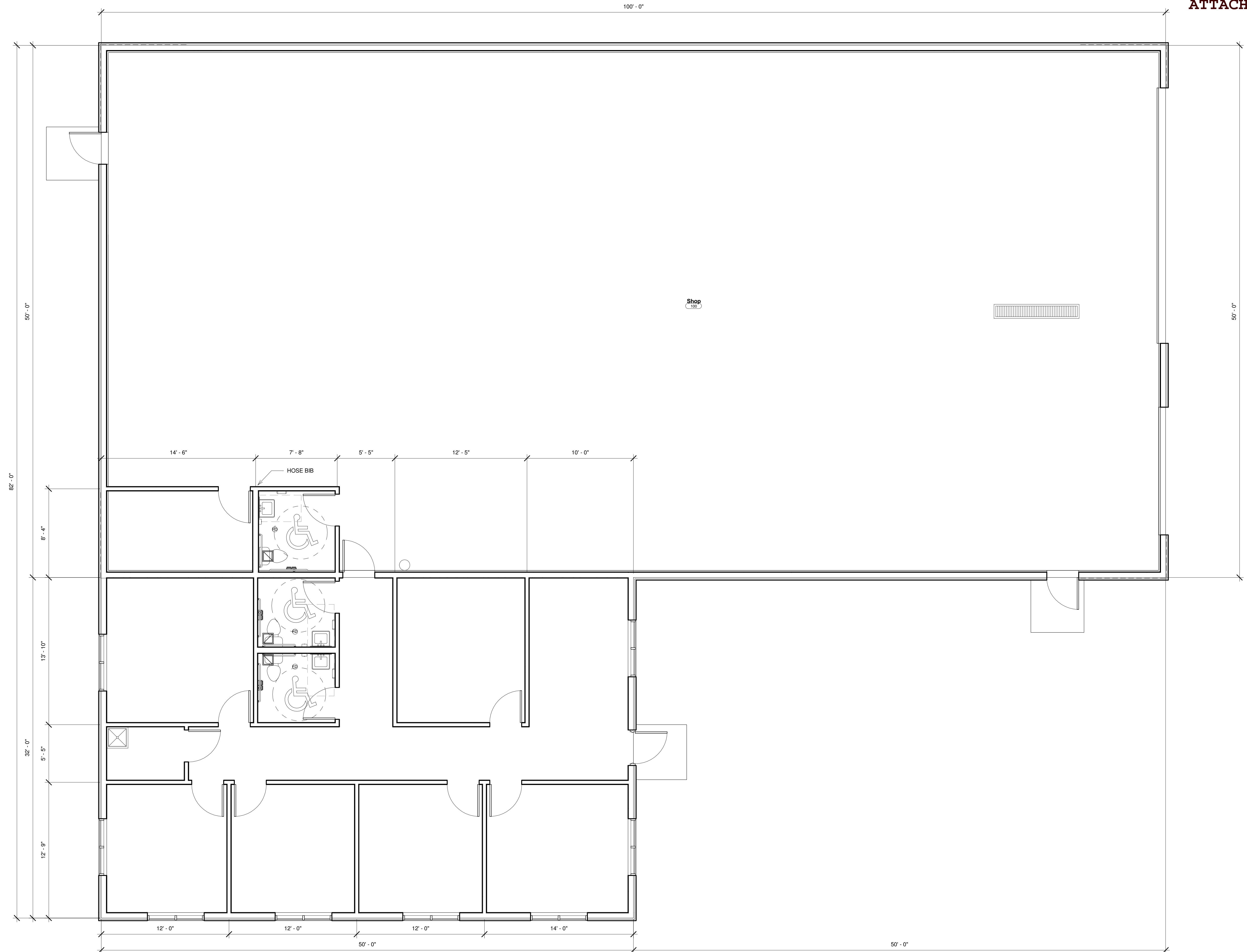
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NO.	REVISIONS: DESCRIPTION	DATE
1.	PLAN SET REVISIONS PER COB REVIEW COMMENTS 2-3-23	2-7-23

PROJECT: FUTURE SITE DEVELOPMENT PLAN
 OFFICE / WAREHOUSE
 PARCEL ID 842403810
 BETTENDORF, IOWA 52722

DEVELOPER: BRENT MARTIN
 P.O. BOX 1738
 BETTENDORF, IOWA 52722

SHEET NO. CO



1 First Floor Plan
1/4" = 1'-0"

4510 42nd Avenue
Rock Island, IL 61201
Phone: 309-386-9924
Fax: 309-386-9924
jag architects.com
jag
JOSEPH ARCHITECTURAL GROUP, P.C.

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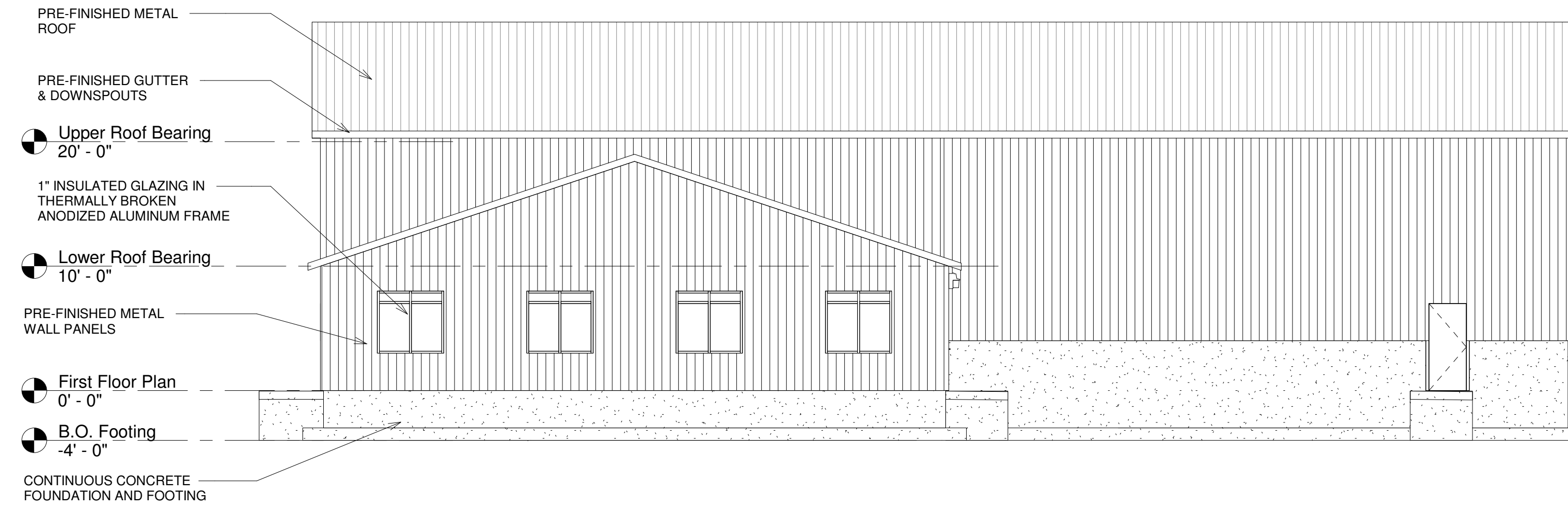
REVISIONS

1	
2	
3	
4	

Preliminary Drawings for:
Central Excavating
Bettendorf, Iowa

BTS
BUILD TO SUIT, INC.
1805 State Street Suite 101, Bettendorf, IA 52722
Ph: 563-365-2022
Fax: 563-365-7696

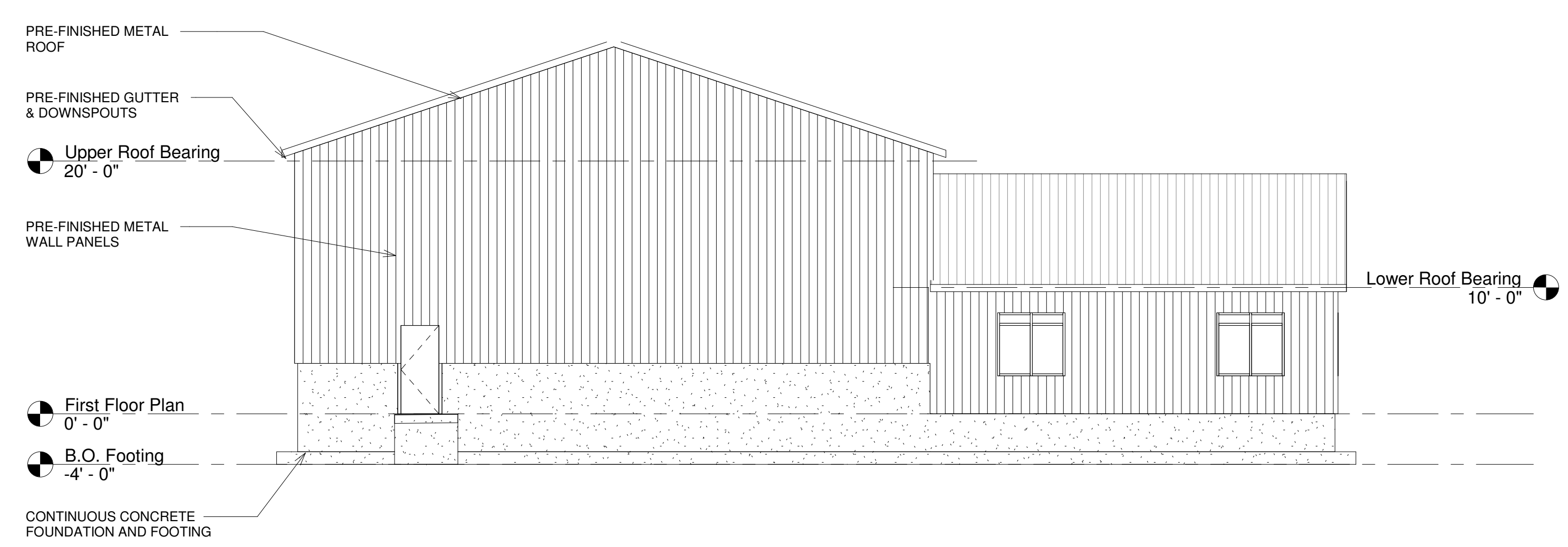
Floor Plan
DATE
15 December
2022
A1
PROJECT
NO.
#11122



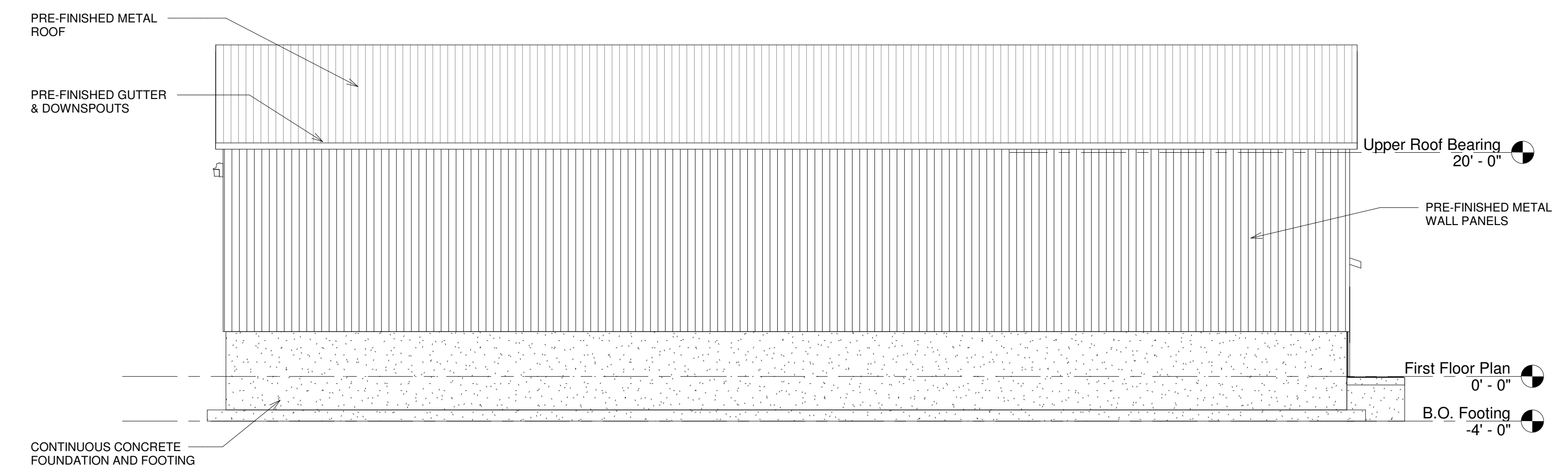
4 South Elevation
1/8" = 1'-0"



3 East Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"

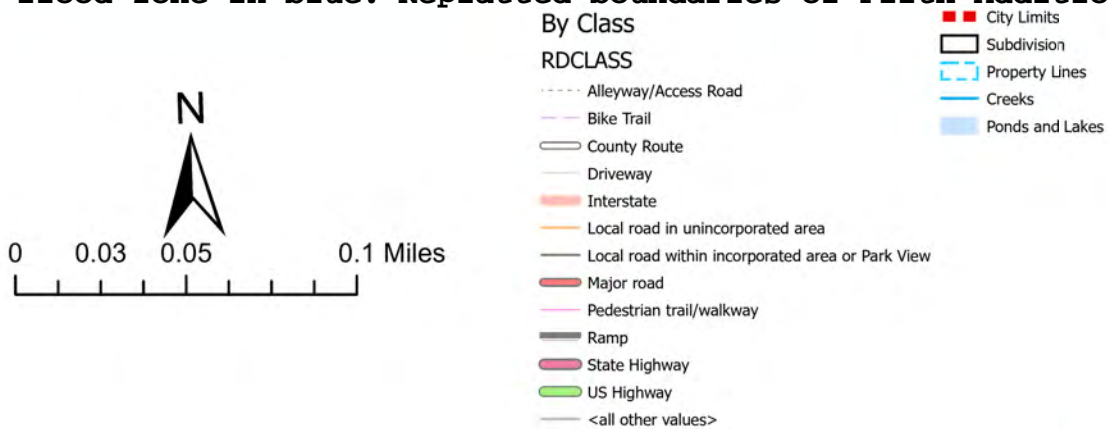


1 North Elevation
1/8" = 1'-0"

FEMA FLOOD BOUNDARIES



100 year flood zone in blue. Replatted boundaries of Fifth Addition in orange





COMMUNITY DEVELOPMENT

City Hall Annex • 4403 Devils Glen Road, Bettendorf, Iowa 52722 • (563) 344-4100

February 15, 2023 – Bettendorf Planning & Zoning Commission Meeting

Staff Report

Case No. 23-011

Request: Site Development Plan / Modification

Location: 6125 Valley Drive

Legal Description: Lot 1 & Outlot A, Stafford Industrial Park First Addition (Parcel #: [8413513011](#))

Applicants: Jeff Hartman, Yard Sign Ninjas

Zoning: I-2, General Industrial District

Future Land Use: IND, Industrial

Background Information and Facts

Jeff Hartman has submitted a site plan for an industrial development located on Lot 1 & Outlot A, Stafford Industrial Park First Addition (see 6125 Valley Drive Aerial – Attachment A). The applicant has increased the size of the development sufficiently to require a site development plan modification review. The development is located south of Valley Drive and north of Centennial Court. The development is located in the I-2, General Industrial District (see Zoning Map – Attachment B). Industrial development exists on the south side of Valley Drive.

The site plan brings the existing development into compliance, as the added building additions have increased total floor area by more than 10% of the originally building. (see Site Development Plan – Attachment C).

Future Land Use Map & Compliance with Comprehensive Plan

The development area is shown as Community Commercial on the Future Land Use Map. The proposal is consistent with the Comprehensive Plan goal C: Attract and Retain Business and Industry.

Zoning Compliance

The site is currently zoned I-2. The development complies with the bulk standards for the district including setbacks, allowable size, and density as shown on the site development plan.

Floodplain

A portion of the property is located in the regulated floodplain (see Floodplain Map – Attachment D). The owner and the property is in current compliance with all applicable floodplain regulations for this site.

Utilities

The site is currently connected to Iowa-American water and city sewer. All utility connections are sufficiently sized to accommodate the increased building space on-site.

Thoroughfare Plan & Pedestrian Access

Vehicle access to the development exists via a parking lot curb cut onto Valley Drive. The added building additions will not require reconfiguration of the access.

No sidewalks currently exist on Valley Drive and are currently not required.

Off-Street Parking

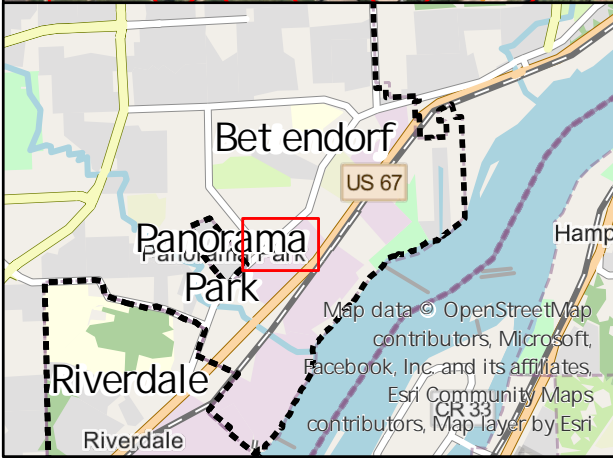
A total of 18 off-street parking spaces currently exists on-site. Additional open parking areas are available in the rear yard of the building. A sufficient number of off-street parking is shown on the site development plan.

Staff Recommendation

Staff recommends approval of **Case No. 23-011** – Site Development Plan modification for 6125 Valley Drive.

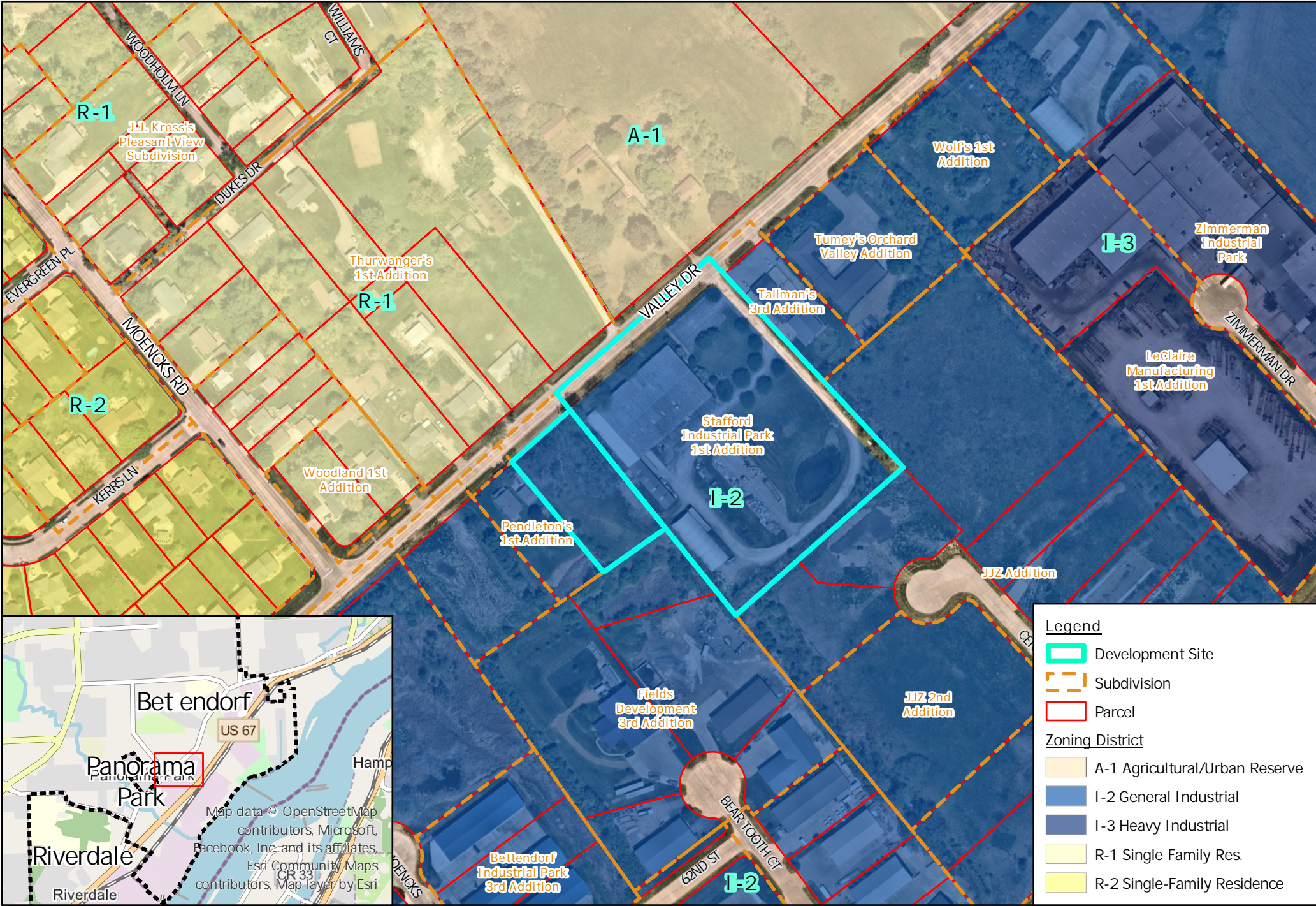
Respectfully submitted,

Taylor Beswick
City Planner



Legend

- Development Site
- Subdivision
- Parcel

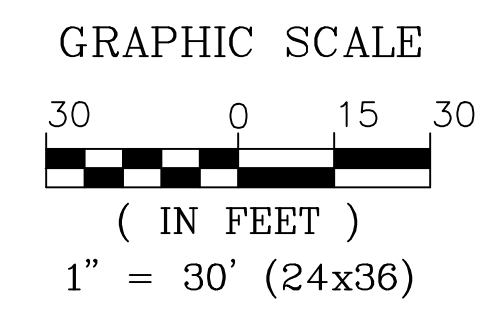
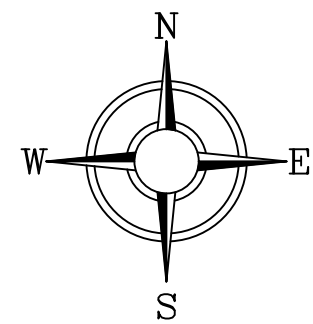


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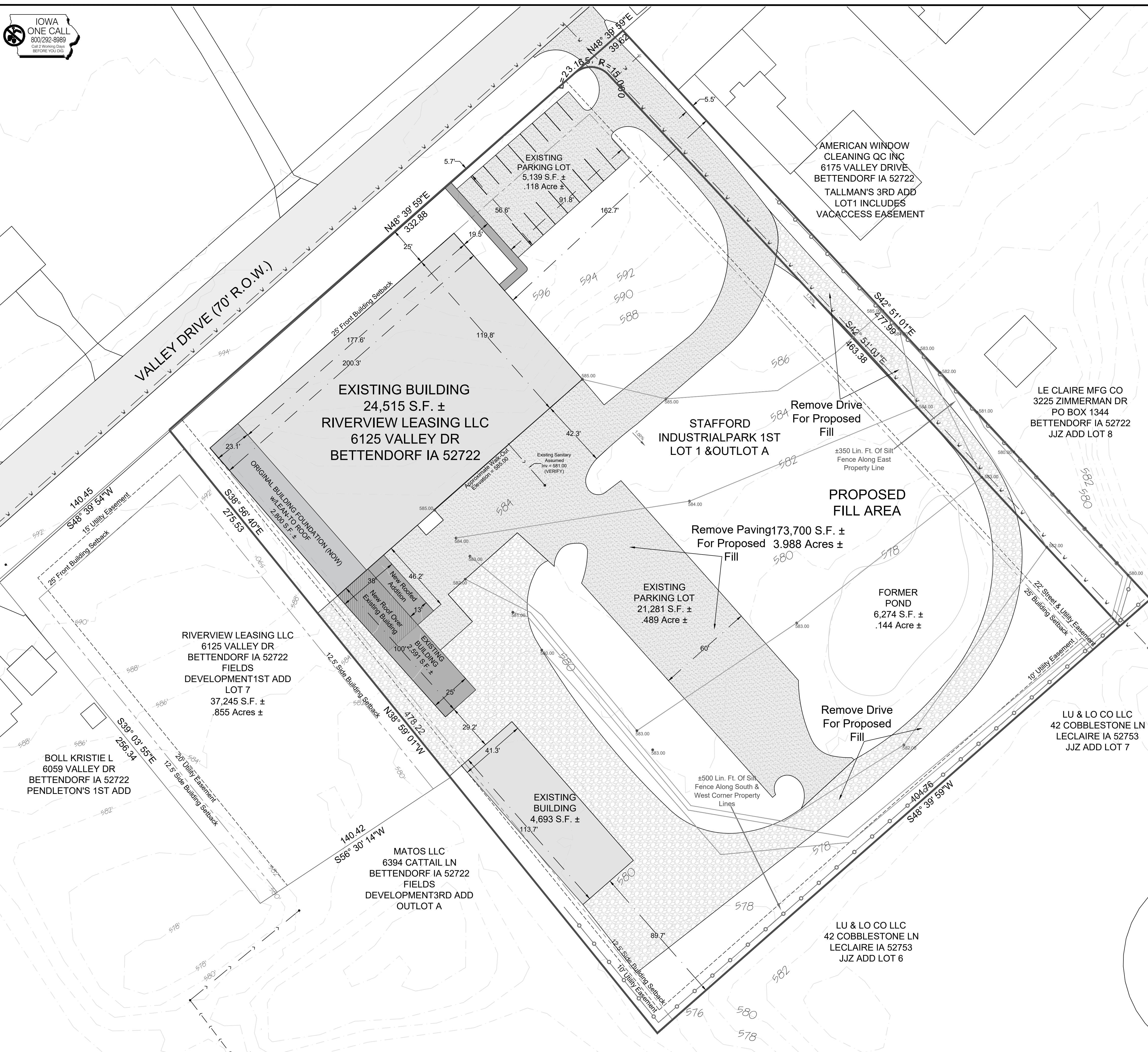
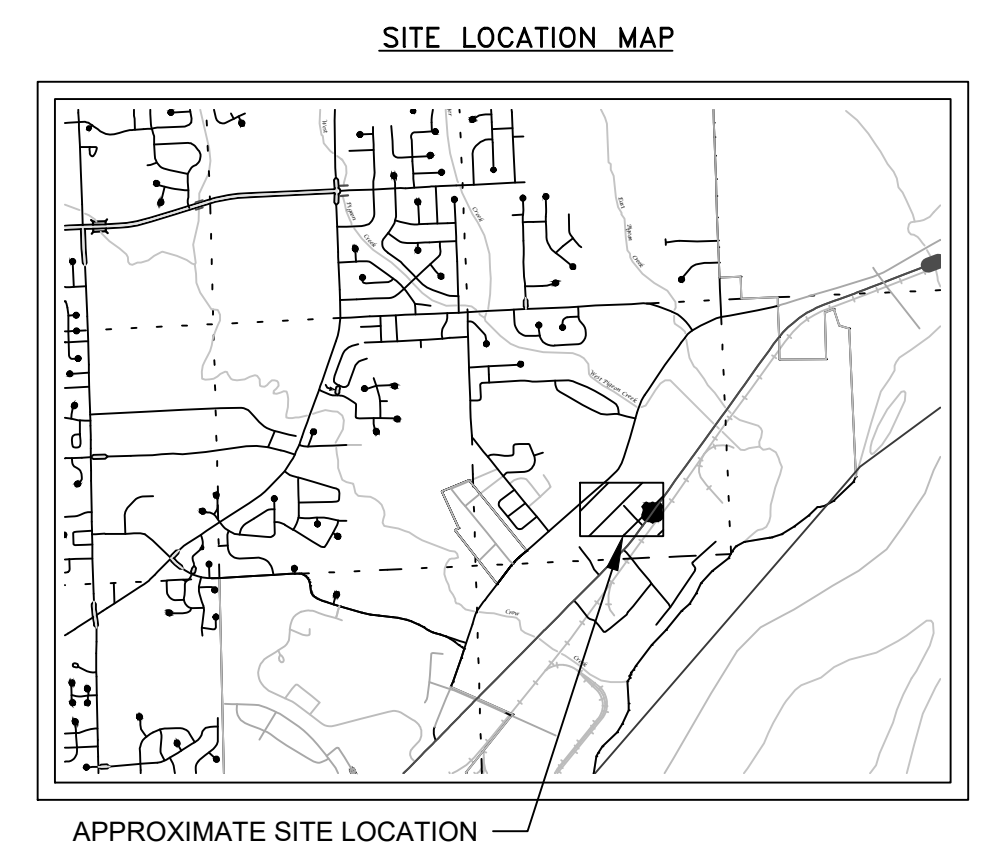
- Development Site
- Subdivision
- Parcel

Zoning District

- A-1 Agricultural/Urban Reserve
- I-2 General Industrial
- I-3 Heavy Industrial
- R-1 Single Family Res.
- R-2 Single-Family Residence



SITE DEVELOPMENT PLAN
JEFF HARTMAN
6125 Valley Drive
TO THE CITY OF BETTENDORF, IA



- GENERAL NOTES**
1. ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
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 8. NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.

I-2 Zoning Requirements

Front Yard Setback: 25' Minimum

Side Yard Setback: 10' Minimum w/ Sum Not Less Than 25'

Rear Yard Setback: 0' Minimum

Parking: Equipment Servicing or Manufacturing
 1 Space for Each 2 Employees + 1 for Each Work Vehicle
 Total Required Parking Spaces = 18 Total Spaces = 18

I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly-licensed Professional Engineer under the laws of the State of Iowa.

CHRISTOPHER R. TOWNSEND, P.E.
 License number: 14864
 Date: 1-24-23
 My license renewal date is December 31, 2024.
 Pages or Sheets covered by this seal: **C0-C4**

LEGEND:

--- EASEMENT	⊗ EXISTING GAS VALVE	--- EXISTING CONTOUR LINE
--- SETBACK LINE	○ EXISTING WATER VALVE	--- PROPOSED CONTOUR LINE
--- CENTERLINE	○ EXISTING UTILITY POLE	○ 715.00 TC SPOT ELEVATION TOP OF CURB
--- PROPERTY BOUNDARY	⊙ EXISTING LIGHT POLE	○ 715.00 FL SPOT ELEVATION FL @ GUTTER
--- EXISTING FENCE	⊙ EXISTING TREE	○ 715.00 TW SPOT ELEVATION SIDEWALK
--- EXISTING SANITARY	⊙ EXISTING BUSH	○ 715.00 FF FINISHED FLOOR ELEVATION
--- PROPOSED SANITARY	⊙ EXISTING MANHOLE	
--- EXISTING STORM SEWER	⊙ EXISTING FIRE HYDRANT	
--- PROPOSED STORM SEWER	⊙ FOUND PROPERTY PIN	
--- EXISTING WATER	⊙ CONTROL POINT	
--- PROPOSED WATER		
--- EXISTING GAS LINE		
--- EXISTING ELECTRIC		



DATE: 6/17/2022
 563 386.4236 office 386.4231 fax
 2224 East 12th Street, Davenport, IA 52803

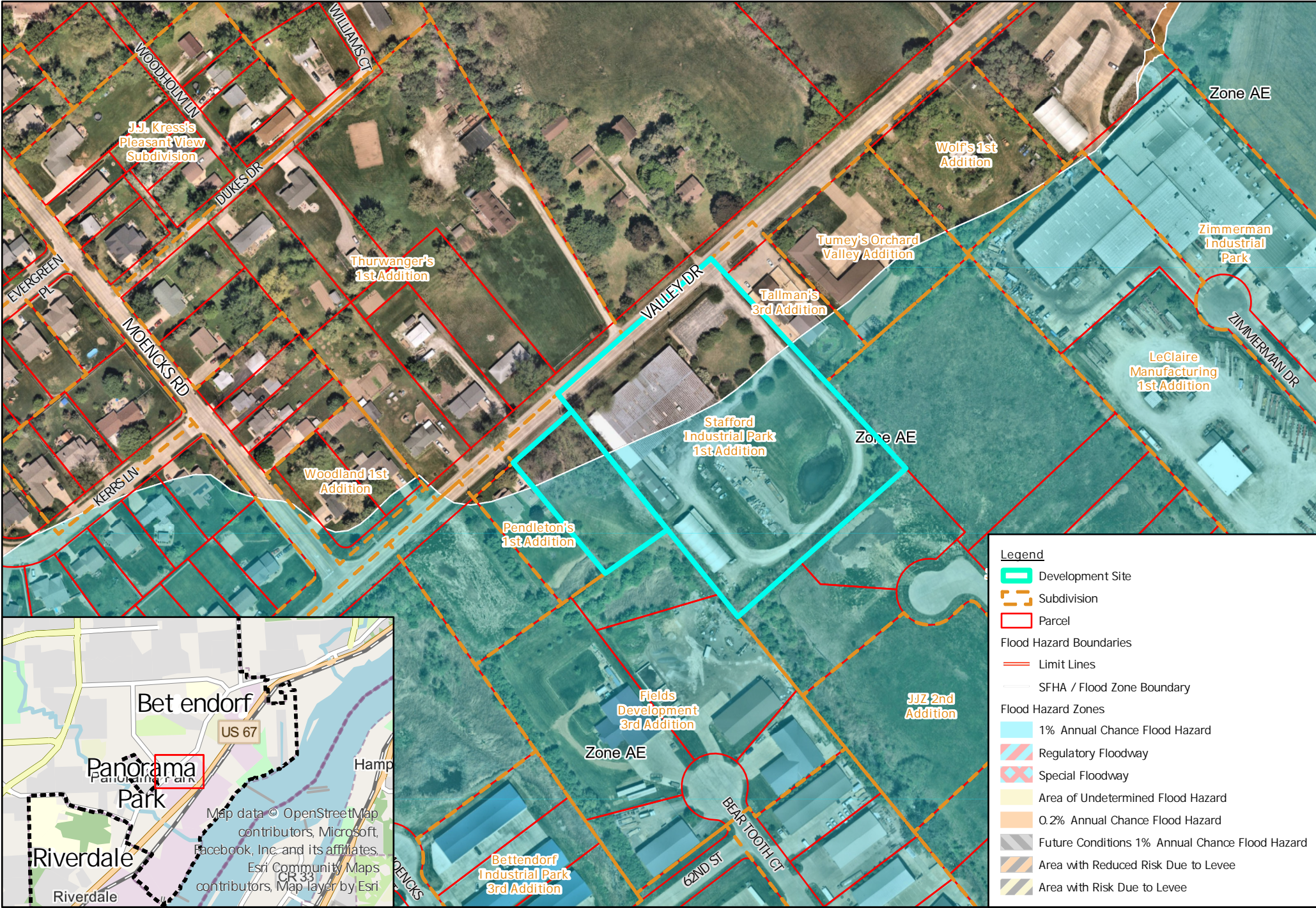
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 CHECKED BY: CRT
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NO.	REVISIONS: DESCRIPTION	DATE

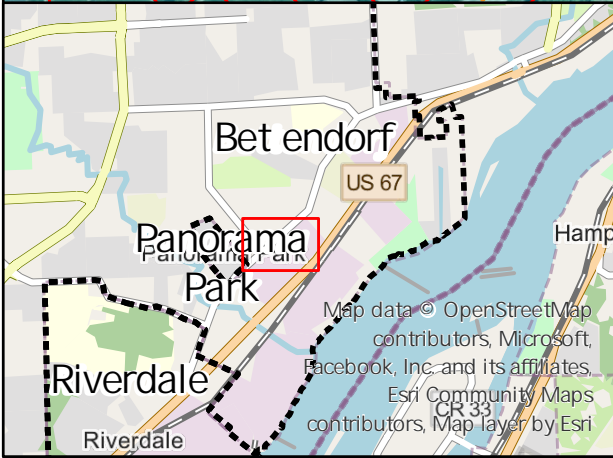
PROJECT
 SITE DEVELOPMENT PLAN
 6125 VALLEY DRIVE
 BETTENDORF, IOWA 52722

DEVELOPER
 JEFF HARTMAN
 6125 VALLEY DRIVE
 BETTENDORF, IOWA 52722

SHEET NO.
 C0



- Legend**
- Development Site
 - Subdivision
 - Parcel
 - Flood Hazard Boundaries
 - Limit Lines
 - SFHA / Flood Zone Boundary
 - Flood Hazard Zones**
 - 1% Annual Chance Flood Hazard
 - Regulatory Floodway
 - Special Floodway
 - Area of Undetermined Flood Hazard
 - 0.2% Annual Chance Flood Hazard
 - Future Conditions 1% Annual Chance Flood Hazard
 - Area with Reduced Risk Due to Levee
 - Area with Risk Due to Levee





COMMUNITY DEVELOPMENT

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February 15, 2023 – Bettendorf Planning & Zoning Commission Meeting

Staff Report

Case No. 22-097

Request: Major Change to an existing Site Development Plan (SDP)

Location: 3150 Glenbrook Circle South and adjacent properties

Legal Description: Lots 1, 2, and Outlot F, Glenbrook Ridge Third Addition
(Parcel #s: 841019401, 841019402, 8410194OLF)

Applicant: Jacob Wolfgang – Nelson Construction and Development

Zoning: Urban Medium Intensity Development Character Area (UMI-DCA)

Future Land Use: Urban Medium Intensity Future Land Use (UMI-FLU)

Background Information and Facts

The petitioner seeks approval to remove and potentially develop a 3.08-acre stormwater detention area and open space currently required as part of a previously approved SDP for the Quartet Senior Living Facility located at 3150 Glenbrook Circle South. The stormwater/greenspace area in question occupies Lot 2 and Outlot F of Glenbrook Ridge Third Addition. The Quartet occupies Lot 1 of the same subdivision.

Removal of this amount of open space constitutes a Major Change to a SDP. A Major Change to a SDP is defined in City Code as:

1. Major Changes: A change in the approved site development plan which alters the concept or intent of the development including a change in the configuration, increase in floor area, or the height of buildings, an increase in intensity, a reduction of proposed open space, a change in road locations or standards, or other major changes, shall be approved only by submission of a new site plan in accordance with the procedures as previously set forth for the approval of site development plans (11-A-1-2-G-1).

If this change were approved, the petitioner would then seek to construct a 45,078 square foot retirement residence on the open space/drainage area. The new building would contain 111 independent living units.

This staff report, to the extent possible, is limited to the analysis of the proposed Major Change to the existing SDP at the Quartet (that is the loss of the 3.08-acre drainage area/open space). While the applicant's desired development of the open space/drainage area provides context, that use is not specifically being evaluated here. That analysis would come under a separate SDP plan review subsequent to an approval of this Major Change by the City Council.

Because the proposed Major Change is within a UMI-DCA, the review is subject to the standards specified under City Code 11-A-1-3: REVIEW OF SITE PLANS FOR PROJECTS WITHIN DCA DISTRICTS. The Code requires that City staff conduct an extensive review process. The main steps in the review process are:

1. Analyze Permitted Uses and Intensity,
2. Analyze Location and Design,
3. Analyze Compatibility.

An analysis for each of these steps is provided later in this report; however, given the relative newness and limited use of DCA Zoning Districts in the City, a short review of their history and use is provided.

DCAs in Bettendorf

To date, two DCA Zoning Districts exist in Bettendorf:

- Glenbrook Ridge UMI DCA, 37.08 acres, west of Devils Glen Road and south of Field Sike Drive (location of the Major Change proposed here).
- Forest Grove Crossing UMI DCA, 56.5 acres, north of Forest Grove Drive and west of Devils Glen Road.

With adoption of the 2017 Comprehensive Land Use Plan and subsequent update to the Zoning Code, Bettendorf added DCA zoning classifications to its existing Euclidean classifications. These form-based districts were meant to provide flexibility in mixing land use types across larger project areas (20 acres or more). The City's Comprehensive Plan defines DCAs as:

A geographic area in the City where land uses share common characteristics, such as density, design, and types of uses. Some DCAs allow multiple types of land uses, while others will be predominantly one use.

City Code codifies DCAs by identifying three distinct types and identifying the uses allowed in each type. The three types of DCAs allowed under the current Zoning Code are:

- Urban Low Intensity (ULI),
- Urban Medium Intensity (UMI),
- Urban High Intensity (UHI).

11-9-4 of City Code notes the following general characteristics of a UMI DCA:

A. Purpose: These are areas with urban services including medium-density residential and neighborhood and community commercial, office, and service uses. UMI areas are vibrant, urban areas that draw customers and employees from outside the immediate area. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction.

B. Uses: A mix of complementary uses, including small lot single-family housing or multiple single-family units on one lot, low-scale multiple family buildings, schools, mid-sized parks and churches, commercial, and mixed-use developments. Amenities such as parks, plazas, and quality streetscapes should be more prevalent than in ULI areas.

As previously stated, the site in question falls within the Glenbrook Ridge UMI DCA. The standards noted above, as well as others provided in Code, informed the three-step analysis provided below.

Analysis of Permitted Uses and Intensity (Step 1)

The land uses currently in place at the Quartet are permitted in the Glenbrook Ridge UMI DCA. Strictly speaking, no new uses are being contemplated as part of the Major Change to the Quartet SDP; however, should this Major Change be approved, the petitioner is proposing a significant reduction in open space both in the existing Quartet SDP and the Glenbrook Ridge DCA overall.

The proposed reduction in open space changes the intensity of use at the Quartet site. Instead of having 120 units on an 11.38 acre site, the Major Change would result in 120 units

on 8.3 acres. Thus, the dwelling units per acre would increase from 10.54 units to 14.46. This change represents a 37% increase in the total dwelling units per acre at the existing Quartet development.

UMI DCAs are allowed 17 units per acre under the City's zoning ordinance. While the proposed change does significantly increase the dwelling units per acre at the Quartet site, it does not surpass what is allowed.

This increase represents only the impact of removing the open space from the Quartet site. An official analysis has not been completed on any future development on these lots.

Analysis of Location and Design (Step 2)

Table A-1-3D2 of the City's zoning ordinance provides a checklist of criteria to be considered in this step. The checklist and staff's response to each criterion is provided below.

FRONTAGE

Project frontage along a street should be similar to lot width.

The approved Quartet SDP shows approximately 486 feet of frontage along Glenbrook Circle South matched to a lot width of roughly 486 feet. The proposed Major Change to the Quartet SDP reduces the frontage along Glenbrook Circle South to approximately 165 feet, while the lot width remains 486 feet. The proposed Major Change does not meet this criterion.

PARKING AND INTERNAL CIRCULATION

Parking should serve all structures with minimal conflicts between pedestrians and vehicles.

The proposed Major Change does not appear to impact the parking and pedestrian flow of the approved site development plan.

All structures must be accessible to public safety vehicles.

The proposed Major Change does not appear to impact the accessibility of emergency vehicles as shown on the approved SDP.

Development must have access to adjacent public streets and ways. Internal circulation should minimize conflicts and congestion at public access points.

The proposed Major Change does not appear to impact access to adjacent public streets and ways, nor does it interfere with internal circulation.

LANDSCAPING

Landscaping should be integral to the development, providing street landscaping, breaks in uninterrupted paved areas, and buffering where required by surrounding land uses. Parts of sites with sensitive environmental features or natural drainageways should be preserved.

Staff contends the open space/drainage area is integral the Quartet's SDP and the Glenbrook Ridge DCA. The proposed Major Change appears to eliminate multiple trees from the Landscape Plan originally approved with the SDP. It also appears to remove buffering/transitioning, between the Quartet and the nearby townhomes and apartments. Changes to the existing drainage pattern would occur. The proposed Major Change does not meet this criterion.

Other.

The ability of the developer to provide the dog park as shown and required under the current SDP is severely limited by the proposed Major Change. Staff finds this to have a negative impact on the proposed Major Change.

The drainage area's pond and open space was a major focal point of the landscape aesthetic of the approved SDP. Removing this from the landscape has a significant impact to the look and feel of the built environment within the Glenbrook Ridge DCA. Staff finds this to have a negative impact on the proposed Major Change.

BUILDING DESIGN

Architectural design and building materials should be compatible with surrounding areas or highly visible locations.

The proposed Major Change does not appear to impact the architectural design of the existing SDP.

TRAFFIC CAPACITY

Project should not obstruct traffic on adjacent streets. Compensating improvements will be required to mitigate impact on street system operations. The proposed Major Change does not appear to violate this criterion.

Larger commercial or office use areas should begin on or near arterial and collector streets.

The proposed Major Change does not appear to violate this criterion.

Smaller commercial uses areas may be appropriate to begin on or near collector and local streets.

The proposed Major Change does not appear to violate this criterion.

EXTERNAL TRAFFIC EFFECTS

Project design should attempt to direct non-residential traffic away from residential areas.

The proposed Major Change does not appear to violate this criterion.

OPERATING HOURS

Projects with long operating hours must minimize effects on surrounding residential areas.

The proposed Major Change does not appear to violate this criterion.

OUTSIDE STORAGE

Outside storage areas must be screened from surrounding streets and less intensive land uses.

The proposed Major Change does not appear to violate this criterion.

SANITARY WASTE DISPOSAL

Developments within 300 feet of a public sanitary sewer must connect to sewer system. Individual disposal systems, if permitted, shall not adversely affect public health, safety, or welfare.

The proposed Major Change does not appear to violate this criterion.

Sanitary sewer must have adequate capacity to serve development.

The proposed Major Change does not appear to violate this criterion.

STORM WATER MANAGEMENT

Development should handle storm water adequately to prevent overloading of public storm water management system.

The proposed Major Change appears to indicate modifications to the stormwater management system for the Quartet, but a formal analysis of any changes to that system are premature at this time.

Storm water runoff should not inhibit development of other properties.

See above.

Development should not increase probability of erosion, flooding, landslides, or other runoff-related effects.

See above.

Compatibility (Step 3)

With this step of the analysis, the Code requires staff to consider if the proposed Major Change to the Quartet's SDP is compatible with the neighboring land uses. More specifically, what are the externalities of removing the 3.08-acre drainage area/open space from the Quartet's approved SDP and the Glenbrook Ridge UMI DCA.

Table A-1-3E1 of the City's zoning ordinance provides general guidance on addressing compatibility in the different DCAs. For UMI DCA's the code states:

Different types of land use are positioned to create a smooth internal transition from lower to higher intensity uses; however, this transition happens over a shorter distance than within the ULI designation.

Removing the open space/drainage from the Quartet's SDP and replacing it with development will reduce the internal transitioning and buffering between uses within the Glenbrook Ridge UMI DCA. The exact extent of this reduction is dependent upon the amount of development that occurs on the open space/drainage area. Staff contends that the open space/drainage area provides an important transitional buffer between the existing townhomes to north and the apartments to the east. The more this transitional buffer is eroded, the less supportive staff would be of the change.

One way to gauge what might be allowable under City code as a tradeoff for the loss of open space/drainage area is to look at the zoning code's guidance for the desirable housing mix in a UMI DCA. Table 11-8-3-C of City Code lists the desirable housing mix in a UMI DCA as 30-50% single-family detached; 20-25% attached dwellings; and 20-35% multi-family dwellings.

The current housing mix in the Glenbrook Ridge UMI DCA is 83% multi-family, 10% attached dwellings, and 7% single family. Considering this imbalance relative to the desired percentages, staff would recommend the applicant look at options such as single-family homes or townhomes that would help bring the DCA closer to the desired balance and be compatible with the surrounding land uses.

Staff Recommendation

Staff recommends denial of the proposed Major Change to the Quartet's existing SDP. Allowing such a change would not align with the location and design criteria specified in City Code. The Major Change appears to conflict with required improvements such as the dog park and landscaping required under the existing SDP. The change would also present

significant compatibility issues and potentially worsen an imbalance in the desired housing mix for the Glenbrook Ridge UMI DCA.

Sincerely,

Mark D. Hunt
Community Development Director

Attachments:

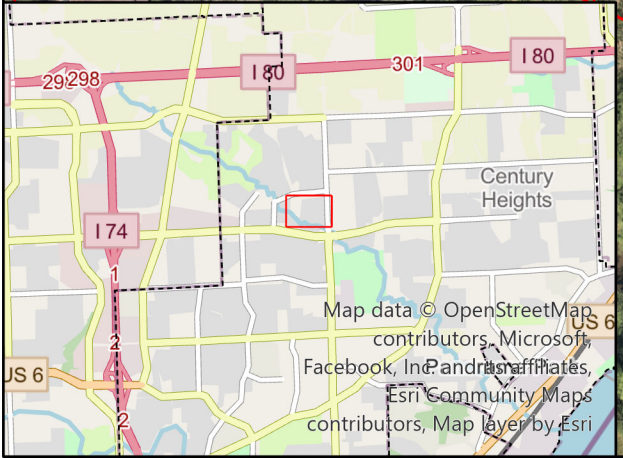
- (A) Aerial Map
- (B) Zoning Map
- (C) Future Land Use Map
- (D) Final Plat Glenbrook Ridge 3rd Addition
- (E) 3150 Glenbrook Circle South Current SDP
- (F) 3150 Glenbrook Circle South Proposed Major Change to SDP
- (G) Response to staff comments

Case 22-097: 3150 Glenbrook Circle South Site Development Plan Major Change Aerial

1 Inch = 209 Feet



N

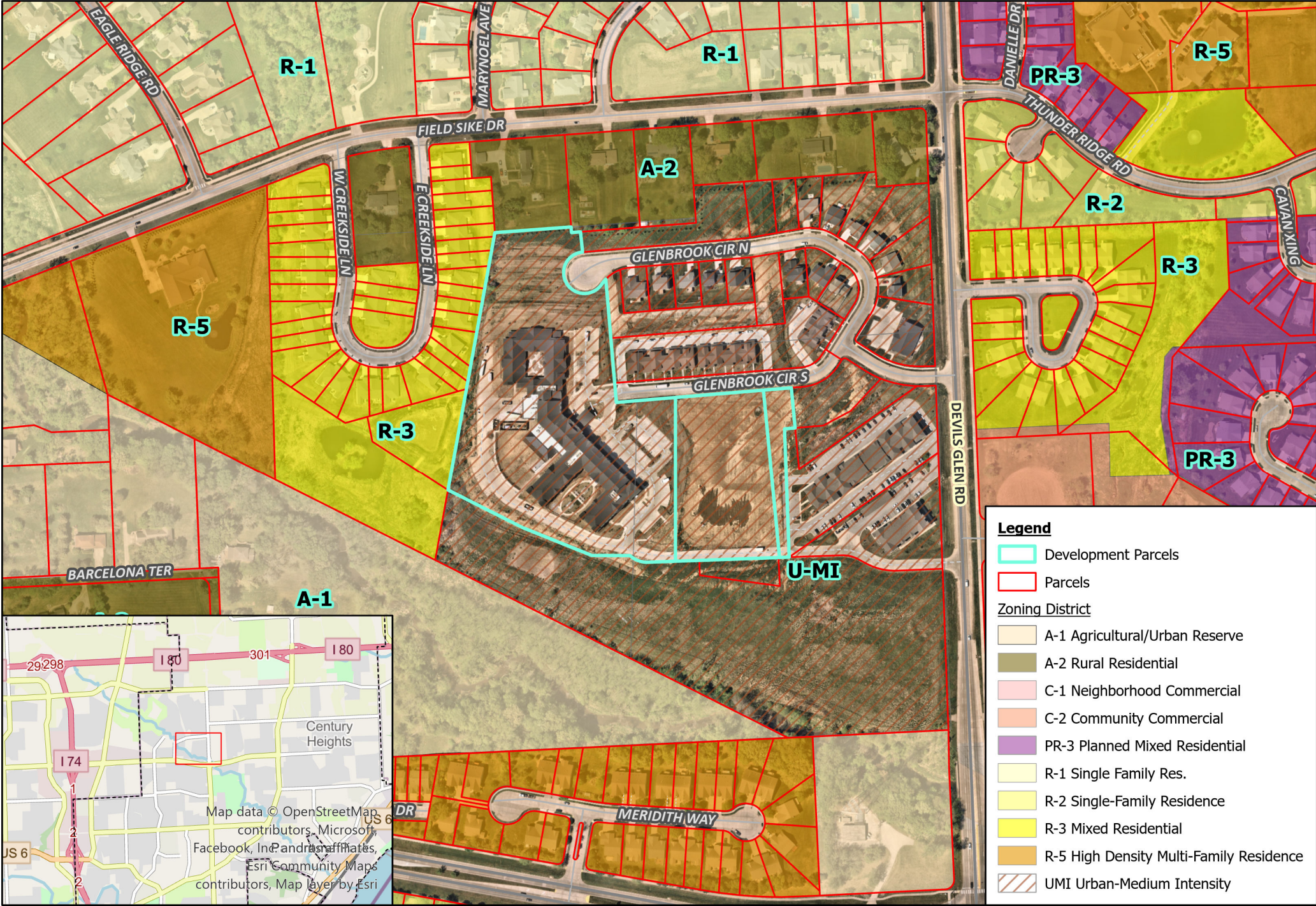


Legend

- Development Parcels
- Parcels

Case 22-097: 3150 Glenbrook Circle South Site Development Plan Major Change Zoning

1 Inch = 327 Feet

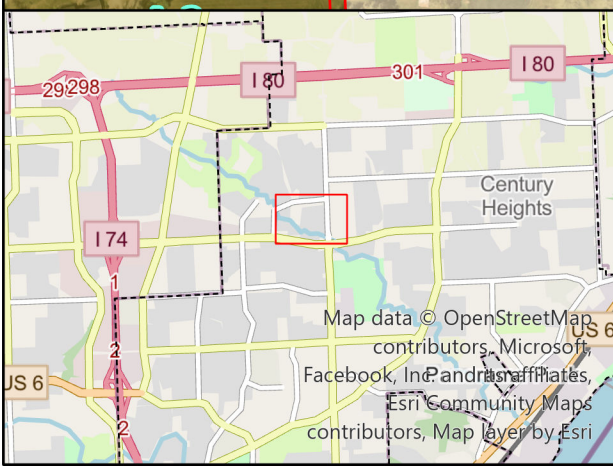


Legend

- Development Parcels
- Parcels

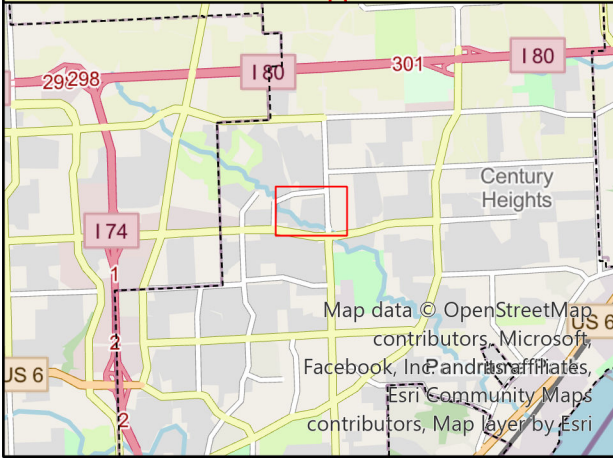
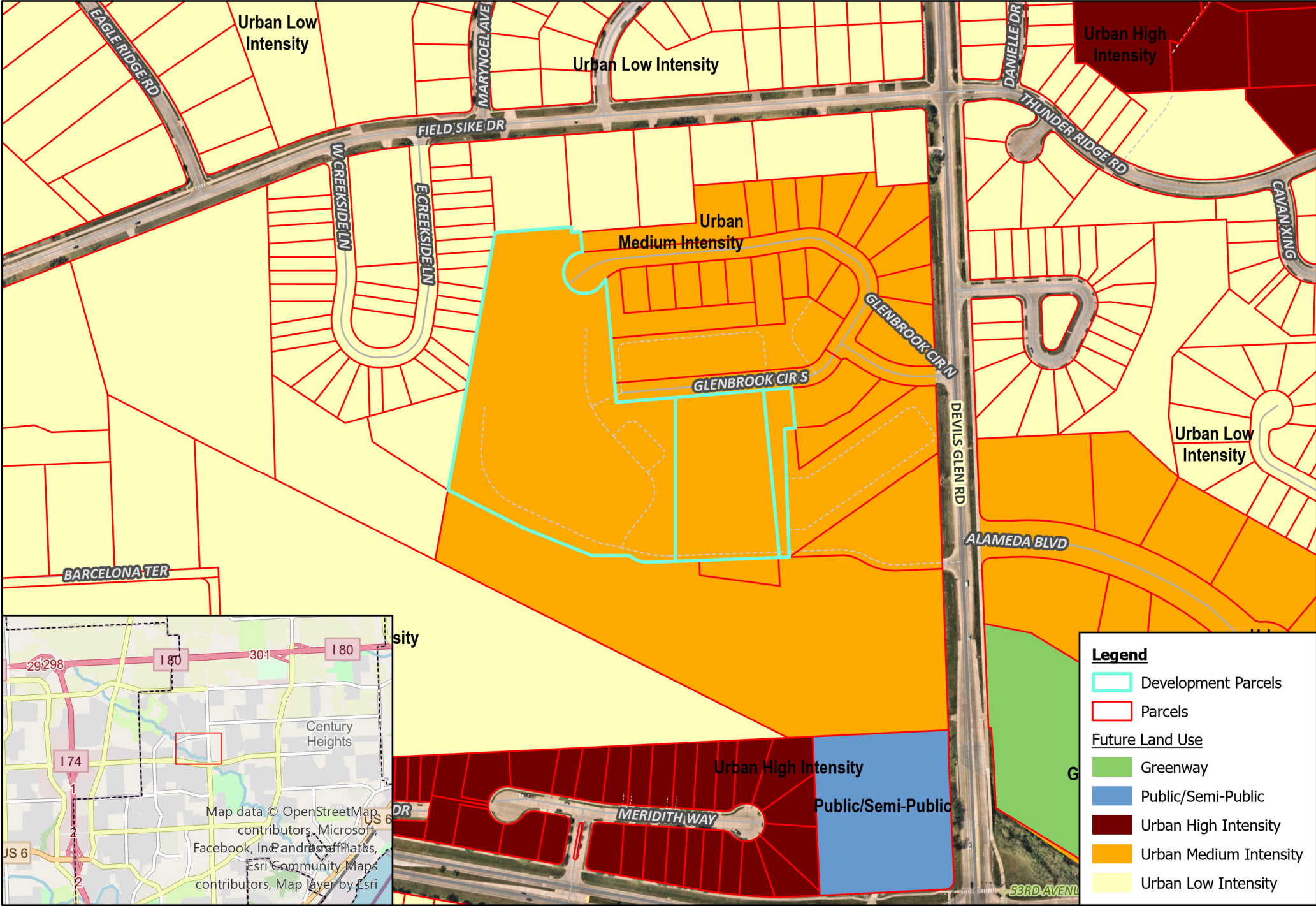
Zoning District

- A-1 Agricultural/Urban Reserve
- A-2 Rural Residential
- C-1 Neighborhood Commercial
- C-2 Community Commercial
- PR-3 Planned Mixed Residential
- R-1 Single Family Res.
- R-2 Single-Family Residence
- R-3 Mixed Residential
- R-5 High Density Multi-Family Residence
- UMI Urban-Medium Intensity



Case 22-097: 3150 Glenbrook Circle South Site Development Plan Major Change Future Land Use

1 Inch = 327 Feet



Legend

- Development Parcels
- Parcels

Future Land Use

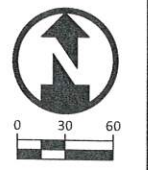
- Greenway
- Public/Semi-Public
- Urban High Intensity
- Urban Medium Intensity
- Urban Low Intensity

FINAL PLAT

GLENBROOK RIDGE THIRD ADDITION

A REPLAT OF LOTS 2, 3, 6, 7, 13, 16 AND 17
OF GLENBROOK RIDGE SECOND ADDITION
BETTENDORF, IOWA

FOR RECORDER'S USE ONLY		RECORDER'S INDEX	
COUNTY:	SCOTT	SECTION:	10-78N-4E
QUARTER SECTION:		CITY:	BETTENDORF
SUBDIVISION:	GLENBROOK RIDGE SECOND ADDITION	BLOCK:	NA
LOT(S):	2, 3, 6, 7, 13, 16, AND 17	PROPRIETOR:	DEVILS GLEN HOLDING, LLC
REQUESTED BY:	DEVILS GLEN HOLDING, LLC	PREPARED BY:	AXIOM CONSULTANTS, LLC, 60 E. COURT ST. UNIT 3 IOWA CITY, IA 52240 - PH# 319.519.6220



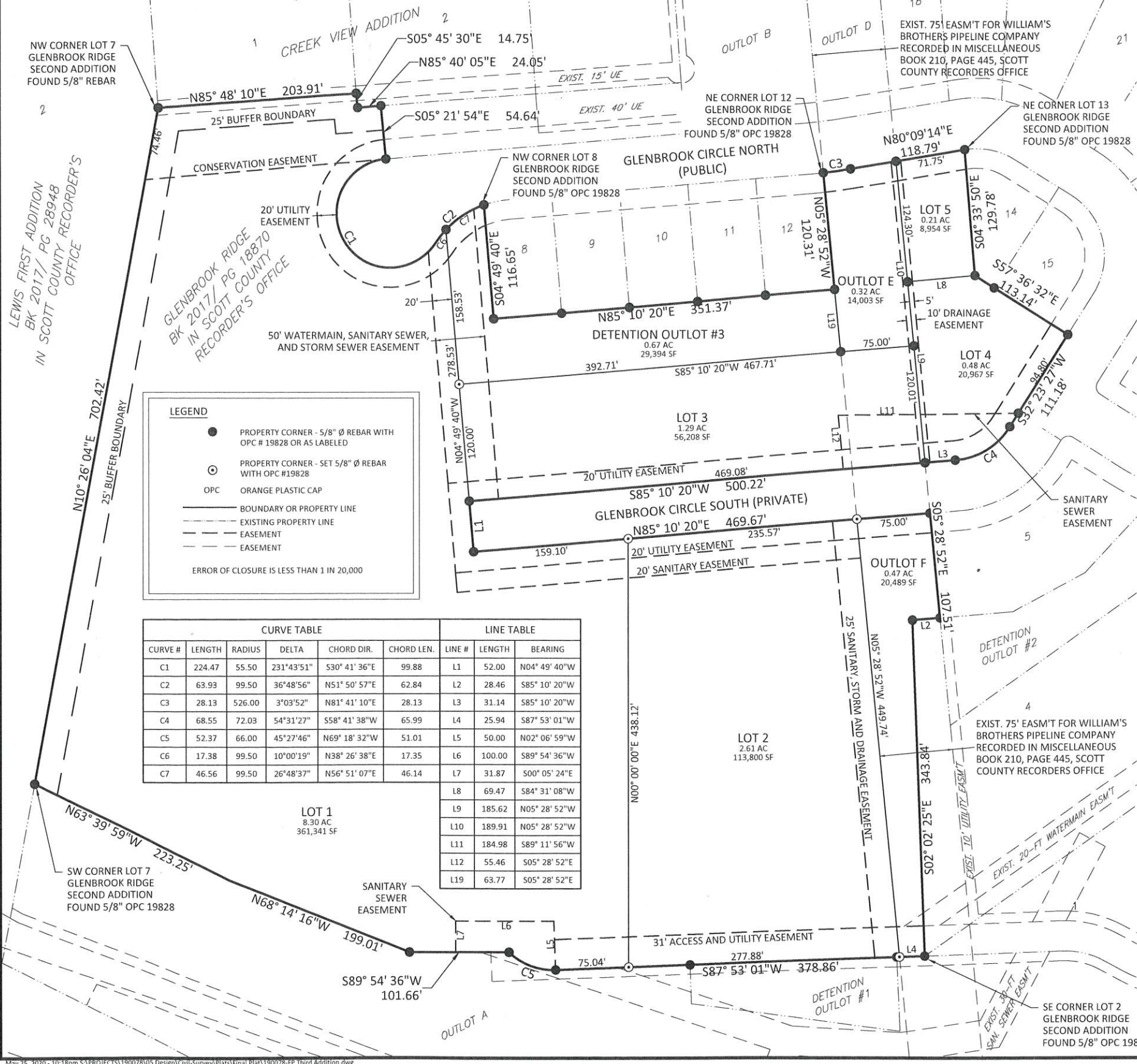
ENGINEER	DATE
DESCRIPTION OF CHANGES	
REV	

ISSUED FOR:	DATE ISSUED:

PROJECT NAME:	CLIENT NAME:
GLENBROOK RIDGE THIRD ADDITION	DEVIL'S GLEN HOLDING, LLC

SHEET NUMBER:	PROJECT NO.:	PROJECT MANAGER:
1 OF 1	19-0078	BETTIS

FINAL PLAT



LEGEND

- PROPERTY CORNER - 5/8" Ø REBAR WITH OPC # 19828 OR AS LABELED
- PROPERTY CORNER - SET 5/8" Ø REBAR WITH OPC #19828
- OPC ORANGE PLASTIC CAP
- BOUNDARY OR PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - EASEMENT
- - - EASEMENT

ERROR OF CLOSURE IS LESS THAN 1 IN 20,000

CURVE TABLE						LINE TABLE		
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.	LINE #	LENGTH	BEARING
C1	224.47	55.50	231°43'51"	S30°41'36"E	99.88	L1	52.00	N04°49'40"W
C2	63.93	99.50	36°48'56"	N51°50'57"E	62.84	L2	28.46	S85°10'20"W
C3	28.13	526.00	3°03'52"	N81°41'10"E	28.13	L3	31.14	S85°10'20"W
C4	68.55	72.03	54°31'27"	S58°41'38"W	65.99	L4	25.94	S87°53'01"W
C5	52.37	66.00	45°27'46"	N69°18'32"W	51.01	L5	50.00	N02°06'59"W
C6	17.38	99.50	10°00'19"	N38°26'38"E	17.35	L6	100.00	S89°54'36"W
C7	46.56	99.50	26°48'37"	N56°51'07"E	46.14	L7	31.87	S00°05'24"E
						L8	69.47	S84°31'08"W
						L9	185.62	N05°28'52"W
						L10	189.91	N05°28'52"W
						L11	184.98	S89°11'56"W
						L12	55.46	S05°28'52"E
						L19	63.77	S05°28'52"E

LEGAL DESCRIPTION

LOTS 2, 3, 6, 7, 13, 16, 17, OUTLOT E, AND DETENTION OUTLOTS 3 THRU 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN BOOK 2019, PAGE 11022 IN THE SCOTT COUNTY RECORDER'S OFFICE, IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA.

OUTLOT INFORMATION:

1. DETENTION OUTLOT #3 FOR PUBLIC STORM WATER MANAGEMENT.
2. OUTLOT E FOR COMMON OPEN SPACE.
3. OUTLOT F FOR COMMON OPEN SPACE.

NOTES:

1. BASIS OF BEARINGS IS THE IOWA PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.
2. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
3. NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
4. NO INVESTIGATION WAS MADE AS A PART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
5. PART OF THIS SUBDIVISION IS SUBJECT TO A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA ON COMMUNITY FIRM MAP NO. 19163C0378F WITH AN EFFECTIVE DATE OF FEBRUARY 18, 2011.
6. DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.
7. ALL MONUMENTS HAVE BEEN FOUND OR WILL BE SET AS SHOWN ON THIS PLAT BY DECEMBER 31, 2020.
8. PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
9. BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
10. BLANKET ACCESS EASEMENTS ACROSS LOTS 1 AND 2 ARE GRANTED TO THE OWNERS OF ALL OF THOSE LOTS.
11. MINIMUM 4-FT WIDE SIDEWALK ON INTERIOR RIGHTS-OF-WAY.
12. ALL PRIVATE DRIVES SHALL BE OWNED AND MAINTAINED BY THE OWNERS OF LOTS NOT FRONTING GLENBROOK CIRCLE NORTH RIGHT-OF-WAY.
13. ALL EXISTING EASEMENTS ORIGINAL TO GLENBROOK RIDGE 1ST AND 2ND ADDITION SHALL BE VACATED WITH THE RECORDING OF THIS APPROVED PLAT
14. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDRETHS.
15. ERROR OF CLOSURE IS LESS THAN 1 IN 20,000

PLAT PREPARED BY:
AXIOM CONSULTANTS
60 E. COURT STREET, UNIT 3
IOWA CITY, IA 52240

OWNER:
Lots 1, 2 & OL F
NELSON CONSTRUCTION &
DEVELOPMENT
218 6TH AVENUE, SUITE 200
DES MOINES, IA 50309

SUBDIVIDER'S ATTORNEY:
BRYCE K. DALTON
KIRTON MCCONKIE
50 E. SOUTH TEMPLE #400
SALT LAKE CITY, UT 84111
801-328-3600
BDALTON@KMLAW.COM

OWNER:
Lot 5
SCOTT WEBSTER
PREMIER CUSTOM HOMES
5773 CALIFORNIA DRIVE
BETTENDORF, IA 52722
SMW212121@CLOUD.COM

ZONING:
URBAN MEDIUM INTENSITY (UMI)

SETBACKS

FRONT 25 FT
SIDE 5 FT MIN; ONE SIDE=10; TOTAL=15; MIN.=15
REAR 25 FT

CITY OF BETTENDORF

By *Scott P. Leah* DATE 6-4-20

ATTEST DATE

PLANNING AND ZONING

By *Phyllis* DATE 5-28-20

IOWA - AMERICAN WATER CO.

By *Julie Allender* DATE 5-26-20

MIDAMERICAN ENERGY COMPANY

By *Frank* DATE 5-26-20

MEDIACOM

By *John Auer* DATE 5-26-20

CENTURYLINK

By *Christy E. O...* DATE 5-26-20



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Bradley R. Geater 5/26/20

BRADLEY R. GEATER, P.L.S., P.E.
LICENSE NUMBER 19828
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021.

PAGES OR SHEETS COVERED BY THIS SEAL: THIS PLAT

LEGEND

- PROPERTY LINE
- LIMIT OF CONSTRUCTION
- WATER
- TELECOM
- GAS
- ELECTRIC
- SANITARY SEWER
- STORM SEWER
- EXISTING EASEMENT
- TREE PROTECTION FENCING
- 995- EXISTING CONTOUR

- STREET YARD OVERSTORY TREE
- VEHICULAR USE AREA OVERSTORY TREE
- BUFFER OVERSTORY TREE
- SHRUB / PERENNIAL
- SOD - TURFGRASS
- EVERGREEN TREE
- ORNAMENTAL TREE
- NO-MOW FESCUE
- SEED - TURFGRASS
- NATIVE PLANT MIX

PLANTING NOTES

- CONTRACTOR TO SEED ALL DISTURBED AREAS UNLESS NOTED OTHERWISE.
- INSTALL 6" MULCH RINGS AT ALL PROPOSED TREES WITHIN LAWN AREAS.

AREA CALCULATIONS

TOTAL SITE	495,672 SF
TOTAL BUILDING	68,403 SF

AREAS LISTED BELOW HAVE BEEN USED TO CALCULATE TREE FACTOR REQUIREMENTS FOR VEHICULAR USE AREAS, STREET YARDS, AND BUFFER YARDS

VEHICULAR USE AREA [DRIVES AND PARKING AREAS]
VEHICULAR USE AREAS ARE DEFINED AS ALL AREAS SUBJECT TO VEHICULAR TRAFFIC INCLUDING, BUT NOT LIMITED TO, ACCESSWAYS, DRIVEWAYS, LOADING AREAS, SERVICE AREAS, AND PARKING STALLS FOR ALL TYPES OF VEHICLES.

TOTAL AREA	93,848 SF
------------	-----------

FOR AREAS GREATER THAN 30,000 SF, AN AREA EQUIVALENT TO A MINIMUM OF 7% OF THE TOTAL VEHICULAR USE AREA SHALL BE LANDSCAPED. THE REQUIRED LANDSCAPED AREA SHALL BE LOCATED IN THE INTERIOR OF THE VEHICULAR USE AREA INCLUDING CORNERS OF THE PARKING AREA, ISLANDS, AND STRIP PLANTINGS.

REQUIRED INTERIOR GREEN SPACE [7% OF TOTAL AREA]	6,569 SF
PROVIDED INTERIOR GREEN SPACE	7,624 SF

STREET YARD AREA
STREET YARDS ARE DEFINED AS CONTIGUOUS LANDSCAPED AREAS ALONG THE STREET RIGHT-OF-WAY. THE LANDSCAPED AREA SHALL BE OF A DEPTH NOT LESS THAN THAT ESTABLISHED IN SECTION 11-12.5, TABLE 11-12.5A(1) OF THE CITY ZONING ORDINANCE. A 20' DEPTH HAS BEEN DETERMINED FOR THIS SITE.

20' DEPTH X 467' LENGTH ALONG STREET R.O.W.	9,340 SF
---	----------

VEHICULAR USE AREA INTERIOR GREENSPACE
VEHICULAR USE AREA INTERIOR GREENSPACE IS THE REMAINING INTERIOR GREENSPACE AFTER INTERIOR GREENSPACE REQUIREMENTS ARE MET.

TOTAL INTERIOR GREENSPACE	6,569 SF
MINIMUM REQUIRED INTERIOR GREENSPACE	6,569 SF
REMAINING INTERIOR GREENSPACE	0 SF

STREET YARD AREA
STREET YARDS ARE DEFINED AS CONTIGUOUS LANDSCAPED AREAS ALONG THE STREET RIGHT-OF-WAY. THE LANDSCAPED AREA SHALL BE OF A DEPTH NOT LESS THAN THAT ESTABLISHED IN SECTION 11-12.5, TABLE 11-12.5A(1) OF THE CITY ZONING ORDINANCE. A 20' DEPTH HAS BEEN DETERMINED FOR THIS SITE.

20' DEPTH X 467' LENGTH ALONG STREET R.O.W.	9,340 SF
---	----------

VEHICULAR USE AREA [LANDSCAPED AREA ALONG LOT LINES]
BUFFER YARDS ARE DEFINED AS LANDSCAPED AREAS ALONG LOT LINES PROVIDED TO SEPARATE AND PARTIALLY OBSTRUCT THE VIEW OF TWO ADJACENT LAND USES OR PROPERTIES FROM ONE ANOTHER.

TOTAL BUFFER YARD AREA	36,183 SF
------------------------	-----------

REQUIRED BUFFER YARD LOCATIONS ARE SHOWN ON THE PLAN, AND A 25' BUFFER YARD DEPTH HAS BEEN DETERMINED FOR THIS SITE.

25' DEPTH ALONG REQUIRED LOT LINES	36,183 SF
------------------------------------	-----------

SCREENING

- SCREENING IS REQUIRED AT THE FOLLOWING CONDITIONS:
- OUTDOOR STORAGE AREAS
 - LOADING AREAS, REFUSE COLLECTION, AND OTHER SERVICE AREAS
 - MAJOR MACHINERY AREAS OR MANUFACTURING AREAS
 - VEHICULAR USE AREAS
 - SOURCES OF GLARE, NOISE, OR OTHER ENVIRONMENTAL EFFECTS
 - ELECTRICAL AND MECHANICAL EQUIPMENT
 - SATELLITE DISHES
 - OTHER NOXIOUS USES AS DETERMINED BY THE COMMUNITY DEVELOPMENT DIRECTOR

SCREENING SHALL BE AN OPAQUE BARRIER AT LEAST 6' IN HEIGHT IN ALL YARDS EXCEPT THE FRONT YARD WHICH SHALL BE BETWEEN 2.5' AND 3' IN HEIGHT MEASURED RELATIVE TO THE STREET GRADE. THE FOLLOWING ARE ACCEPTABLE BARRIERS:

- SOLID WOOD / MASONRY FENCE OR WALL
- HEDGE OR INFORMAL SCREEN OF EVERGREEN PLANT MATERIAL
- LANDSCAPE BERM WITH 3:1 MAXIMUM SLOPE
- ANY COMBINATION OF THESE METHODS

KEYED NOTES

KEY	MATERIAL / OBJECT	NOTES
	LANDSCAPE EDGING	4" X 3/16" STEEL EDGING W/ 3/16" X 1/4" TAPERED STEEL STAKE # 30" O.C. COLOR: BLACK; FINISH: STANDARD PAINT
	ROCK MULCH BORDER	TBD
	BIKE RACK	TBD
	FLAG POLE	SEE ARCHITECTURAL SPECIFICATIONS. PROVIDE FLAG POLE UPLIGHTING.
	MONUMENT SIGN W/ ILLUMINATION	REFERENCE ARCHITECTURAL SHEETS AND SITE ELECTRICAL SHEETS
	UTILITY ENCLOSURE	TRANSFORMER AND GENERATOR; REFERENCE ARCHITECTURAL SHEETS
	TRASH ENCLOSURE	REFERENCE ARCHITECTURAL SHEETS

TREE CALCULATIONS

NOTE: DUE TO EXISTING UTILITY EASEMENTS ALONG ROADWAYS, SOME REQUIRED BUFFER YARD AND STREET YARD TREES ARE LOCATED OUTSIDE AND ADJACENT TO THE BUFFER YARD AND STREET YARD LOCATIONS.

VEHICULAR USE AREAS
1 TREE FACTOR SHALL BE REQUIRED FOR EVERY 500 SF OF REQUIRED INTERIOR GREENSPACE (SEE TABLE FOR TREE FACTOR DEFINITIONS):
6,569 SF / 500 = 13.14 [REQUIRED TREE FACTOR]
13 OVERSTORY TREES PROVIDED

STREET YARD
1 TREE FACTOR SHALL BE REQUIRED FOR EVERY 700 SF OF THE STREET YARD GREENSPACE:
9,340 / 700 = 13.34 [REQUIRED TREE FACTOR]
13 OVERSTORY TREES PROVIDED = 13

BUFFER YARD
32 TREE FACTORS SHALL BE PROVIDED ALONG WEST BUFFER IN THE FORM OF CONIFEROUS TREES:
64 CONIFERS REQUIRED
64 CONIFERS PROVIDED

1 TREE FACTOR SHALL BE REQUIRED FOR EVERY 700 SF OF THE REMAINING BUFFER YARD GREENSPACE:
36,183 [TOTAL SF] - 17,409 [WEST SF] = 18,774 [REMAINING SF]
18,774 / 700 = 26.82
26.82 [REQUIRED TREE FACTOR]

9 OVERSTORY TREES PROVIDED = 9
7 UNDERSTORY TREES PROVIDED = 3.5
9 EVERGREEN TREES PROVIDED = 4.5
EXISTING TREE FACTOR CREDITS = 10

PROVIDED TREE FACTORS = 27
TOTAL REQUIRED TREE FACTORS: TOTAL PROVIDED TREE FACTORS INCLUDING EXISTING TREES

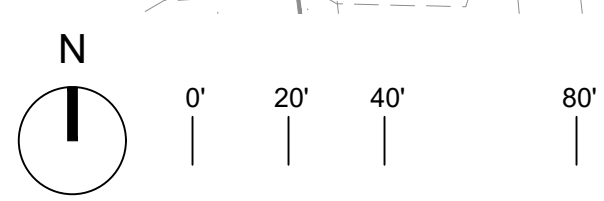
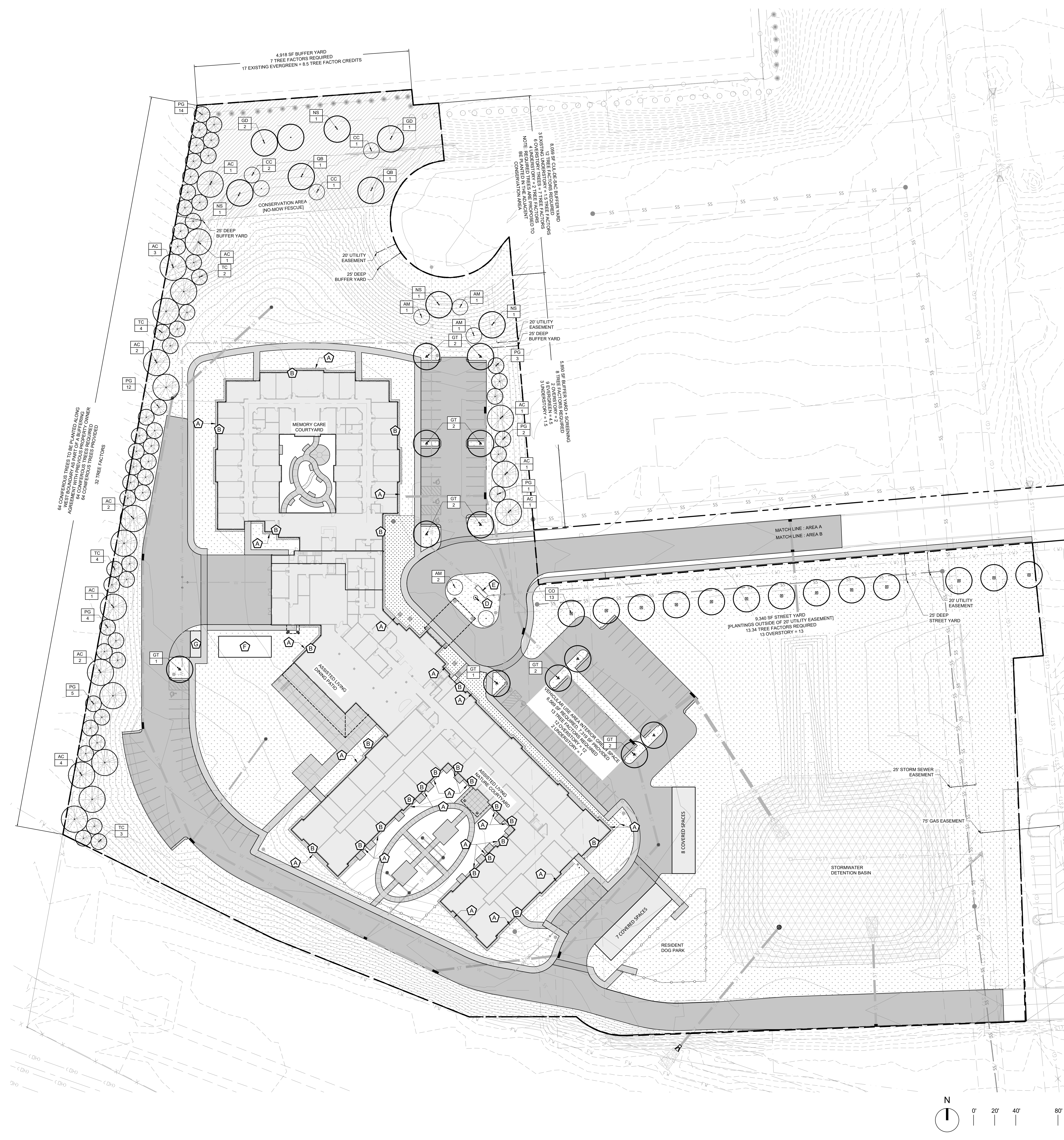
13.14 [VEHICULAR USE]	13 [VEHICULAR USE]
13.34 [STREET YARD]	13 [STREET YARD]
32 [WEST BUFFER]	32 [WEST BUFFER]
26.82 [REMAINING BUFFER]	27 [REMAINING BUFFER]
85.3 REQUIRED TREE FACTORS	85 PROVIDED TREE FACTORS

TREE FACTOR TABLE
CITY OF BETTENDORF LANDSCAPE HANDBOOK

DECIDUOUS OVERSTORY	HEIGHT	CALIPER	FACTOR
2-INCH CALIPER	6' HEIGHT		1.0
4-INCH CALIPER	12' HEIGHT		2.0
ONE-STEM DECIDUOUS UNDERSTORY	6' HEIGHT		0.5
1 1/2-INCH CALIPER	12' HEIGHT		1.0
3-INCH CALIPER	12' HEIGHT		1.0
MULTI-STEM DECIDUOUS UNDERSTORY	6' HEIGHT		0.5
12' HEIGHT	12' HEIGHT		1.0
EVERGREEN	6' HEIGHT		0.5
12' HEIGHT	12' HEIGHT		1.0

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
OVERSTORY TREES [34 TREE FACTORS]						
13	CO	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE HACKBERRY	2"	B&B	MATCHING
3	GD	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2"	B&B	MATCHING
12	GT	GLEDITSIA TRIACANTHOS F. INERMIS	SKYLINE HONEYLOCUST	2"	B&B	MATCHING
4	NS	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK TUPELO	2"	B&B	MATCHING
2	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2"	B&B	MATCHING
UNDERSTORY TREES [4.5 TREE FACTORS]						
5	AM	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6'-8' HT	B&B	MULTI-STEM
4	CC	CERCIS CANADENSIS	EASTERN REDBUD	6'-8' HT	B&B	MULTI-STEM
EVERGREEN TREES [36.5 TREE FACTORS]						
19	AC	ABIES CONCOLOR	WHITE FIR	6'-8' HT	B&B	
41	PG	PICEA GLAUCA 'DENSATA'	BLACK HILLS WHITE SPRUCE	6'-8' HT	B&B	
13	TC	TSUGA CANADENSIS	CANADIAN HEMLOCK	6'-8' HT	B&B	

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
UNDERSTORY TREES [1.5 TREE FACTORS]						
3		UNDERSTORY TREE	SPECIES TO BE VERIFIED	2" DBH		SEE NOTE ON PLAN
EVERGREEN TREES [8.5 TREE FACTORS]						
17		EVERGREEN TREE	SPECIES TO BE VERIFIED	4" DBH		SEE NOTE ON PLAN



SITE PLAN FOR GLENBROOK RIDGE SENIOR LIVING IN THE CITY OF BETTENDORF SCOTT COUNTY, IOWA

SITE INFORMATION

PROPERTY LOCATION	WEST END OF GLENBROOK CIRCLE SOUTH		
REQUIRED PARKING	1.5 SPACES PER INDEPENDENT LIVING UNIT - 1 X 32 =		48 REQUIRED STALLS
	½ SPACE PER ASSISTED LIVING UNIT - ½ X 56 UNITS =		28 REQUIRED STALLS
	½ SPACE PER NURSING/CONVALESCENT BED PLUS 1 SPACE PER EMPLOYEE		
	½ X 32 BED + 30 MC EMPLOYEES (EST.)		38 REQUIRED STALLS
			114 TOTAL REQUIRED PARKING STALLS
PROPOSED PARKING	128 SPOTS WITH 6 ADA STALLS (PLAN SHOWS 113 SURFACE STALLS AND 15 COVERED PARKING SPACES *)		
	*COVERED PARKING SPACES MAY BECOME SURFACE SPACES DEPENDING ON PROJECT BUDGET.		
EXISTING SITE	495,671 SF	11.38 AC	(100%)
BUILDING AREA =	0 SF	0 AC	(0%)
PAVEMENT =	0 SF	0 AC	(0%)
OPEN SPACE =	495,671 SF	11.38 AC	(100%)
PROPOSED SITE	495,671 SF	11.38 AC	(100%)
BUILDING AREA =	66,405 SF	1.52 AC	(13%)
PAVEMENT =	110,658 SF	2.54 AC	(22%)
OPEN SPACE =	318,608 SF	7.31 AC	(64%)
*DOES NOT INCLUDE AREA WITHIN PRIVATE STREET ROW.			
ZONING	URBAN MEDIUM INTENSITY (UMI)		
FEMA FLOODWAY INFORMATION	MAP NUMBER 19163C0378F EFFECTIVE FEBRUARY 18, 2011		
	100-YR FLOODPLAIN ELEVATION = 661.00		
	500-YR FLOODPLAIN ELEVATION = 662.50		
YARD SETBACKS			
FRONT	25 FT		
SIDE	5 FT MIN; ONE SIDE=10; TOTAL=15 MIN. 15		
REAR	25 FT		
PROPOSED USE	RETIREMENT RESIDENCE		
BUILDING TYPE PER 2015 IBC:	TYPE V-A PER 2015 IBC, BUILDING WILL BE FIRE SPRINKLED		
OCCUPANCY TYPE PER 2015 IBC:	I-1 CONDITION 2		
FLOOR AREA			
TOTAL FLOOR AREA:	138,853 SF		
FIRST FLOOR	67,506 SF		
SECOND FLOOR	36,108 SF		
THIRD FLOOR	35,239 SF		

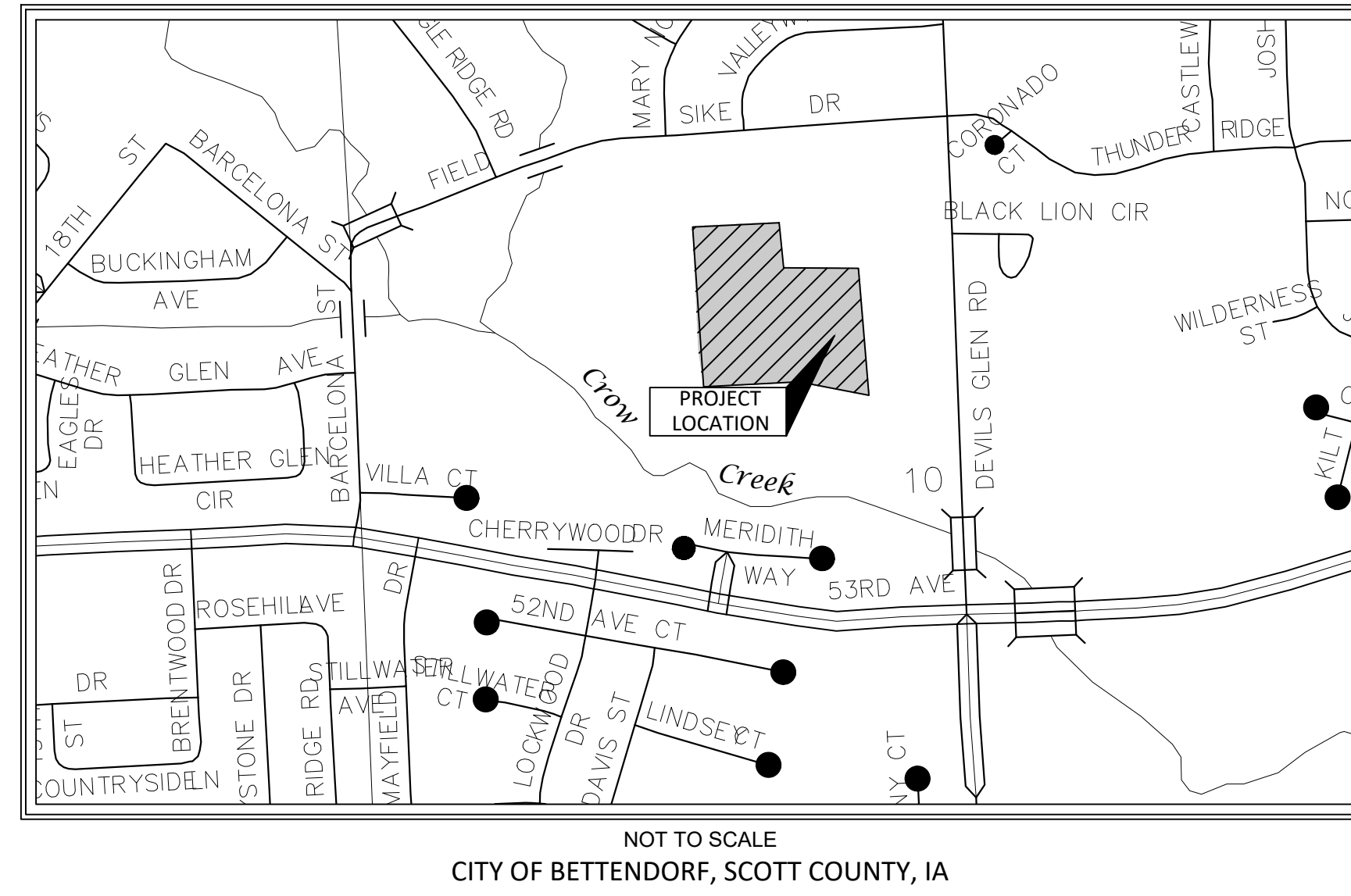
UTILITY & EMERGENCY CONTACTS

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES IN PROXIMITY TO THE PROJECT:	
MIDAMERICAN ENERGY CONTACT: DIANNE HIRL PHONE: 309/793-3645 EMAIL: DHHIRL@MIDAMERICAN.COM	MEDIA COM COMMUNICATIONS CORP. CONTACT: MITCH HANCOCK PHONE: 309/743-4735 MHANCOCK@MEDIACOMCC.COM
CENTURYLINK CONTACT: TOM STURMER PHONE: 720/578-8090 EMAIL: THOMAS.STURMER@CENTURYLINK.COM	MAGELLAN MIDSTREAM PARTNERS CONTACT: DYLAN GILLEAN PHONE: 918/574-7098 WILCALL2@MAGELLANLP.COM
GENESECO COMMUNICATIONS CONTACT: ROGER GRANELL PHONE: 309/944-8025 EMAIL: ROGER.GRANELL@GENESECO.COM	
IOWA AMERICAN WATER COMPANY CONTACT: JULIE ALLENDER PHONE: 563/468-9222 EMAIL: JULIE.ALLENDER@AMWATER.COM	

CITY CONTACTS

CITY OF BETTENDORF	
PUBLIC WORKS	4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4088
CITY ENGINEER	BRENT MORLOK 4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4063 BMORLOK@BETTENDORF.ORG

PROJECT VICINITY MAP CITY OF BETTENDORF



NOT TO SCALE
CITY OF BETTENDORF, SCOTT COUNTY, IA

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BETTENDORF DESIGN STANDARDS. NO DESIGN VARIANCES REQUESTED.

LEGAL DESCRIPTION:
A REPLAT OF LOTS 2, 3, 6, 7, 13, 16, 17 AND OUTLOT C, OUTLOT E, DETENTION OUTLOT 3, DETENTION OUTLOT 4, AND DETENTION OUTLOT 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN FILE 2019-00011022 AND 2019-00017182 IN THE SCOTT COUNTY RECORDER'S OFFICE.

INDEX OF SHEETS	
C0.00	COVER SHEET
C2.00	OVERALL SITE PLAN

SUMMARY OF PUBLIC INFRASTRUCTURE QUANTITIES		
PROPOSED 8" PVC TRUSS SANITARY SEWER PIPE	LF	908
PROPOSED SANITARY SEWER MANHOLE	EA	3

CITY APPROVAL

BY: _____ DATE: _____

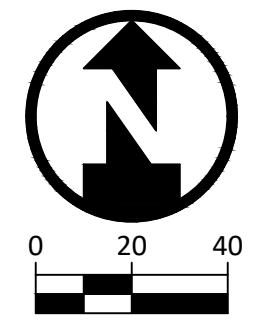
CITY'S ENGINEER'S RECOMMENDATION

BY: _____ DATE: _____

OWNER/APPLICANT: NELSON CONSTRUCTION & DEVELOPMENT C/O JACOB WOLFGANG 218 6TH AVENUE, SUITE 200 DES MOINES, IA 50309 515-720-6170 JACOB@NELSONCONST.COM	PREPARED BY: AXIOM CONSULTANTS, LLC C/O NICK BETTIS, P.E. 60 E. COURT STREET, UNIT 3 IOWA CITY, IOWA 52240 319-519-6220 NBETTIS@AXIOM-CON.COM
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**GLENBROOK RIDGE
SENIOR LIVING**
 DEVILS GLEN ROAD & FIELD SIKE ROAD
 BETTENDORF, IA



SITE PLAN KEYNOTES

- A ADA CURB RAMP. REFER TO SUDAS DETAIL 7030.206
- B PROPOSED 4" CONCRETE WALK.
- C PROPOSED CONCRETE PAVEMENT.
- D PROPOSED STORM WATER MANAGEMENT AREA
- E REMOVE EXISTING SANITARY SEWER AND SERVICE LINE
- F REMOVE EXISTING STORM PIPE
- G REFUSE AND RECYCLING ENCLOSURE
- H RELOCATED PUBLIC SANITARY SEWER
- I COVERED DROPOFF

SITE PLAN NOTES

1. ALL PROPOSED WATERMAIN IS TO BE 8" PVC C900.
2. ALL PROPOSED SANITARY SEWER IS TO BE 8" PVC TRUSS.
3. CONNECT DOWNSPOUTS TO STORM SEWER.
4. 100-YR FLOODPLAIN ELEV.=661.00

LEGEND:

UTILITIES		EXISTING	PROPOSED
COMMUNICATIONS	(CO)	—	—
OVERHEAD LINE	(OH)	—	—
ELECTRIC	(E)	—	—
FIBER OPTIC	(FO)	—	—
GAS	(G)	—	—
SANITARY SEWER	(SS)	—	—
STORM	(ST)	—	—
SUBDRAIN	(SD)	—	—
WATER: DOMESTIC	(W)	—	—
WATER: WELL	(WELL)	—	—
CHILLED WATER: SUPPLY	(CHWS)	—	—
CHILLED WATER: RETURN	(CHWR)	—	—
CONDENSATE	(CND)	—	—
STEAM: HIGH PRESSURE	(HPS)	—	—
STEAM: LOW PRESSURE	(LPS)	—	—
COMMUNICATIONS HANDHOLE		⊠	⊠
COMMUNICATIONS PEDESTAL		⊡	⊡
COMMUNICATIONS MANHOLE		⊙	⊙
GUY WIRE ANCHOR		⊙	⊙
UTILITY POLE		⊙	⊙
UTILITY POLE WITH LIGHT		⊙	⊙
LIGHT POLE		⊙	⊙
ELECTRIC MANHOLE		⊙	⊙
ELECTRIC TRANSFORMER		⊙	⊙
TRAFFIC HANDHOLE		⊙	⊙
TRAFFIC MANHOLE		⊙	⊙
FIBER OPTIC HANDHOLE		⊙	⊙
FIBER OPTIC MANHOLE		⊙	⊙
GAS MANHOLE		⊙	⊙
GAS VALVE		⊙	⊙
SANITARY SEWER MANHOLE		⊙	⊙
SANITARY SEWER CLEANOUT		⊙	⊙
STORM SEWER MANHOLE		⊙	⊙
STORM SEWER INTAKE		⊙	⊙
HYDRANT		⊙	⊙
WATER VALVE		⊙	⊙
CURB STOP		⊙	⊙
WATER MANHOLE		⊙	⊙
POST INDICATOR VALVE		⊙	⊙

SITE		EXISTING	PROPOSED
CONTOUR - INDEX		—	—
CONTOUR - INTERMEDIATE		—	—
FENCE: BARB WIRE		—	—
FENCE: CHAIN LINK		—	—
FENCE: CONSTRUCTION		—	—
FENCE: VINYL		—	—
FENCE: WIRE		—	—
FENCE: WOOD		—	—
TREE LINE		—	—
DELINEATED WETLAND		—	—
100-YEAR FLOODPLAIN		—	—
500-YEAR FLOODPLAIN		—	—
STREAM CENTERLINE		—	—
BOLLARD		⊙	⊙
FLAG POLE		⊙	⊙
LANDSCAPE LIGHT		⊙	⊙
SHRUBBERY		⊙	⊙
TREE: DECIDUOUS		⊙	⊙
TREE: CONIFEROUS		⊙	⊙
MAIL BOX		⊙	⊙
POST		⊙	⊙
SIGN		⊙	⊙
PARKING METER		⊙	⊙
FIRE DEPARTMENT CONNECTION		⊙	⊙
WATER METER		⊙	⊙
HOSE BIB		⊙	⊙
YARD HYDRANT		⊙	⊙
DRINKING FOUNTAIN		⊙	⊙
MONITORING WELL		⊙	⊙
WELL		⊙	⊙

**GLENBROOK RIDGE
SENIOR LIVING**
DEVILS GLEN ROAD & FIELD SIKE ROAD
BETTENDORF, IA

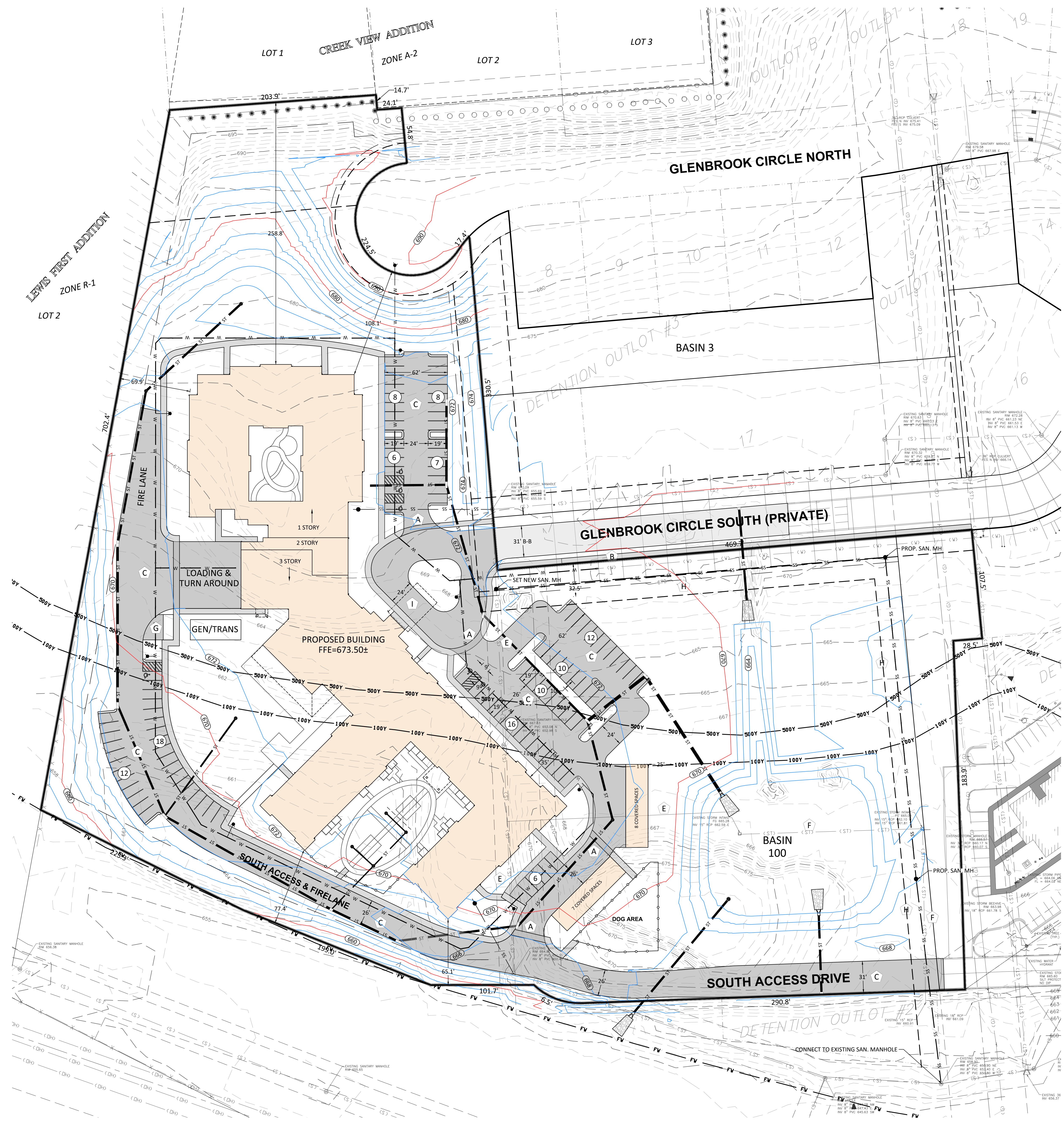
SHEET TITLE
SITE PLAN

PROJECT NUMBER: 19039

SHEET NUMBER:

C-200

DRAWN BY: Author CHECKED BY: Checker

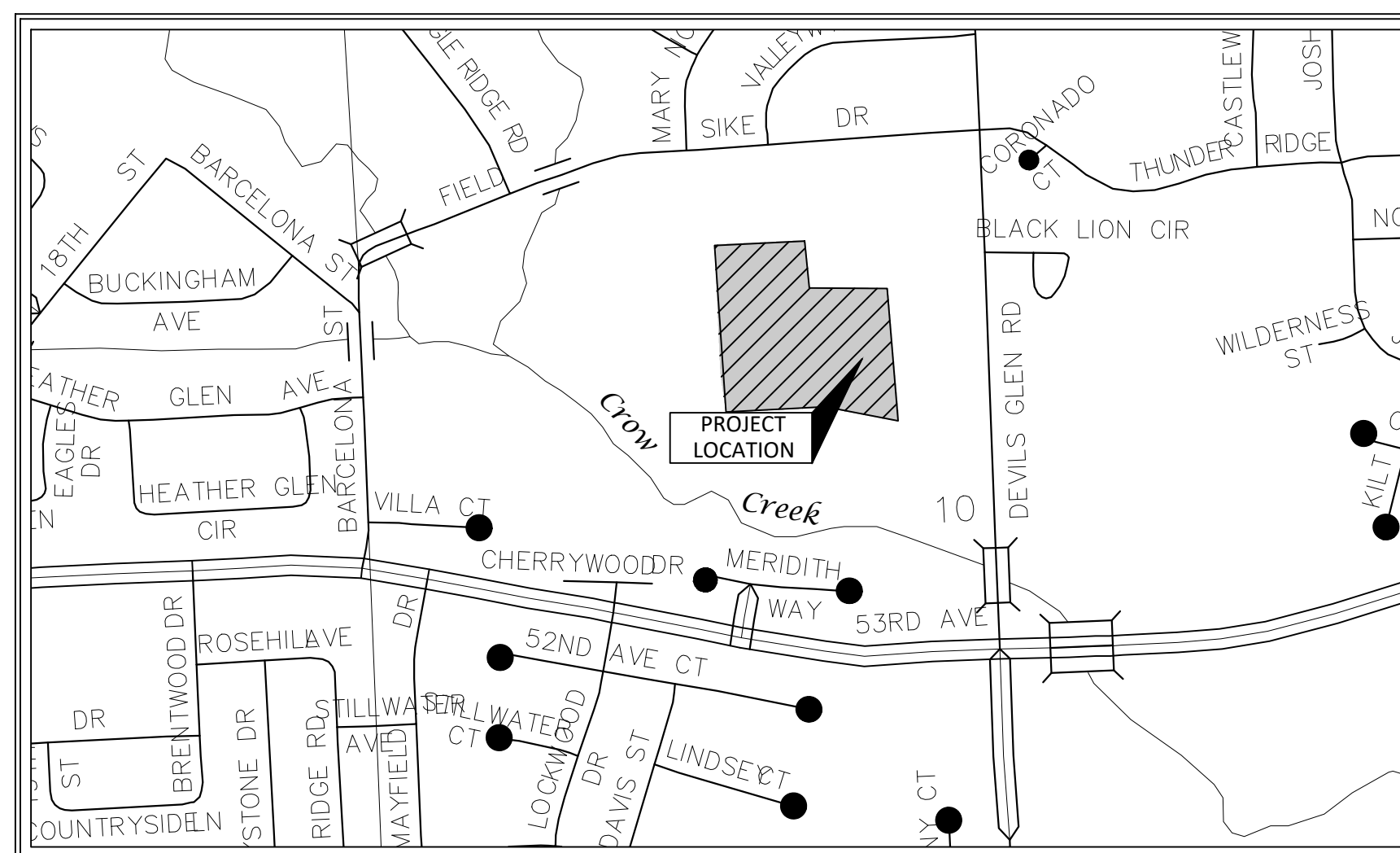


SITE PLAN FOR GLENBROOK RIDGE SENIOR LIVING IN THE CITY OF BETTENDORF SCOTT COUNTY, IOWA

SITE INFORMATION

PROPERTY LOCATION	WEST END OF GLENBROOK CIRCLE SOUTH		
REQUIRED PARKING	WEST BUILDING: 1.5 SPACES PER INDEPENDENT LIVING UNIT - 1.5 X 32 = 48 REQUIRED STALLS ½ SPACE PER ASSISTED LIVING UNIT - ½ X 56 UNITS = 28 REQUIRED STALLS ½ SPACE PER NURSING/CONVALESCENT BED PLUS 1 SPACE PER EMPLOYEE = 38 REQUIRED STALLS ½ X 32 BED + 30 MC EMPLOYEES (EST.)		
	EAST BUILDING: 1.5 SPACES PER INDEPENDENT LIVING UNIT - 1.5 X 111 UNITS = 167 REQUIRED STALLS 281 TOTAL REQUIRED PARKING STALLS		
PROPOSED PARKING	181 SURFACE "OFF-STREET" STALLS WITH 10 ADA STALLS 15 ON-STREET PARKING STALLS 106 UNDERGROUND STALLS 302 TOTAL PROVIDED PARKING STALLS		
EXISTING SITE	495,671 SF	11.38 AC	(100%)
BUILDING AREA =	0 SF	0 AC	(0%)
PAVEMENT =	0 SF	0 AC	(0%)
OPEN SPACE =	495,671 SF	11.38 AC	(100%)
PROPOSED SITE*	495,671 SF	11.38 AC	(100%)
BUILDING AREA (WEST)=	66,405 SF	1.52 AC	(13.4%)
BUILDING AREA (EAST)**=	45,078 SF	1.04 AC	(9.1%)
PAVEMENT =	144,150 SF	3.31 AC	(29.1%)
OPEN SPACE =	240,038 SF	5.51 AC	(28.3%)
*DOES NOT INCLUDE AREA WITHIN PRIVATE STREET ROW. **INCLUDES LOT 2 AND OUTLOT F.			
ZONING	URBAN MEDIUM INTENSITY (UMI)		
FEMA FLOODWAY INFORMATION	MAP NUMBER 19163C0378F EFFECTIVE MARCH 23, 2021 WEST BUILDING 100-YR FLOODPLAIN ELEVATION = 661.00 WEST BUILDING 500-YR FLOODPLAIN ELEVATION = 662.50 EAST BUILDING 100-YR FLOODPLAIN ELEVATION = 660.80 EAST BUILDING 500-YR FLOODPLAIN ELEVATION = 662.00		
YARD SETBACKS	FRONT: 25 FT SIDE: 5 FT MIN; ONE SIDE=10; TOTAL=15 MIN. 15 REAR: 25 FT		
PROPOSED USE	RETIREMENT RESIDENCE		
BUILDING TYPE PER 2015 IBC:	TYPE V-A PER 2015 IBC, BUILDING WILL BE FIRE SPRINKLED		
OCCUPANCY TYPE PER 2015 IBC:	WEST BUILDING: I-1 CONDITION 2 EAST BUILDING: R-2 WITH ACCESSORY A-2/B		
FLOOR AREA	WEST BUILDING	EAST BUILDING	
TOTAL FLOOR AREA:	138,853 SF	126,200 SF***	
BASEMENT (PARKING):	0 SF	38,914 SF***	
FIRST FLOOR	67,506 SF	42,400 SF	
SECOND FLOOR	36,108 SF	41,988 SF	
THIRD FLOOR	35,239 SF	41,856 SF	
***TOTAL FLOOR AREA DOES NOT INCLUDE BASEMENT. BASEMENT IS NOT INCLUDED IN F.A.R. CALCULATION.			
F.A.R.: (126,000+138,853)/475,151 = 0.56 (LOT 1 AND LOT 2) - MAXIMUM 0.70 ALLOWED			

PROJECT VICINITY MAP CITY OF BETTENDORF



NOT TO SCALE
CITY OF BETTENDORF, SCOTT COUNTY, IA

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LEGAL DESCRIPTION:
A REPLAT OF LOTS 2, 3, 6, 7, 13, 16, 17 AND OUTLOT C, OUTLOT E, DETENTION OUTLOT 3, DETENTION OUTLOT 4, AND DETENTION OUTLOT 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN FILE 2019-00011022 AND 2019-00017182 IN THE SCOTT COUNTY RECORDER'S OFFICE.

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GENESEO COMMUNICATIONS CONTACT: ROGER GRANELL PHONE: 309/944-8025 EMAIL: ROGER.GRANELL@GENESEO.COM	IOWA AMERICAN WATER COMPANY CONTACT: JULIE ALLENDER PHONE: 563/468-9222 EMAIL: JULIE.ALLENDER@AMWATER.COM	MAGELLAN MIDSTREAM PARTNERS CONTACT: DYLAN GILLEAN PHONE: 918/574-7098 EMAIL: WILCALL2@MAGELLANLP.COM

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CITY OF BETTENDORF	
PUBLIC WORKS	4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4088
CITY ENGINEER	BRENT MORLOK 4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4063 BMORLOK@BETTENDORF.ORG

INDEX OF SHEETS	
C0.00	COVER SHEET
C1.00	EXISTING TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	EROSION CONTROL & GRADING PLAN
C3.10	MC & AL DINING PATIO ENLARGEMENTS
C3.20	AL COURTYARD ENLARGEMENT
C4.00	OVERALL UTILITY PLAN
C4.10	SANITARY SEWER PLAN & PROFILE SHEET 1 OF 2
C4.20	SANITARY SEWER PLAN & PROFILE SHEET 2 OF 2
C5.00	PAVEMENT PLAN
C6.00	DETENTION BASIN PLAN
C7.00	GLENBROOK CIRCLE SOUTH PAVING & STORM SEWER PLAN & PROFILE
C9.00	CONSTRUCTION DETAILS

CITY APPROVAL

BY: _____ DATE: _____

CITY'S ENGINEER'S RECOMMENDATION

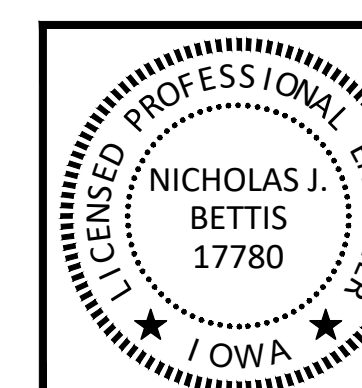
BY: _____ DATE: _____

OWNER/APPLICANT:

NELSON CONSTRUCTION & DEVELOPMENT
C/O JACOB WOLFGANG
218 6TH AVENUE, SUITE 200
DES MOINES, IA 50309
515-720-6170
JACOB@NELSONCONST.COM

PREPARED BY:

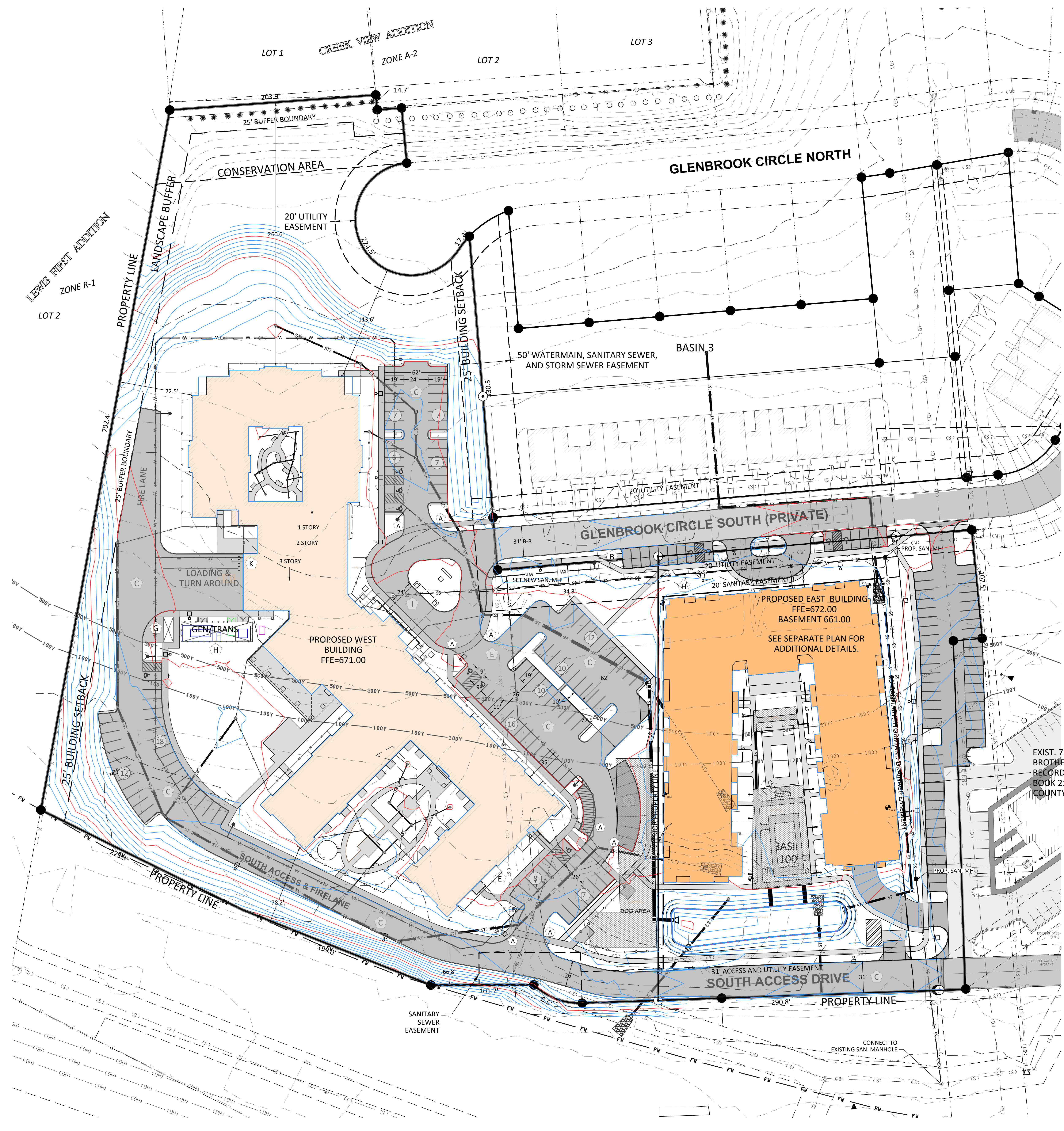
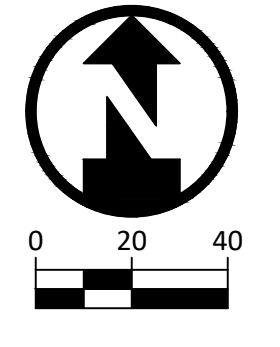
AXIOM CONSULTANTS, LLC
C/O NICK BETTIS, P.E.
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240
319-519-6220
NBETTIS@AXIOM-CON.COM



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
 NICHOLAS J. BETTIS, P.E.
 LICENSE NUMBER 17780
 DATE: 4/13/2020
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019.
 PAGES OR SHEETS COVERED BY THIS SEAL: ALL C-SHEETS

REVISED SITE PLAN WITH BOTH BUILDINGS

SEE ALSO PLANS FOR QUARTET INDEPENDENT LIVING



SITE PLAN KEYNOTES

- A ADA CURB RAMP WITH TRUNCATED DOME. REFER TO SUDAS DETAIL 7030.206
- B PROPOSED 4" CONCRETE WALK.
- C PROPOSED CONCRETE PAVEMENT.
- D PROPOSED STORM WATER MANAGEMENT AREA
- E REMOVE EXISTING SANITARY SEWER AND SERVICE LINE - SEE SHEET C100
- F REMOVE EXISTING STORM PIPE - SEE SHEET C100
- G REFUSE AND RECYCLING ENCLOSURE
- H RELOCATED PUBLIC SANITARY SEWER
- I COVERED DROPOFF
- J ADA STALLS
- K INSTALL BOLLARDS TO PROTECT GAS METER AND POST INDICATOR VALVE. SEE DETAIL 7, AS-101.

SITE PLAN NOTES

1. ALL PROPOSED WATERMAIN IS TO BE 8" PVC C900.
2. ALL PROPOSED SANITARY SEWER IS TO BE 8" PVC TRUSS.
3. CONNECT DOWNSPOUTS TO STORM SEWER.
4. 100-YR FLOODPLAIN ELEV.=661.00 - WEST BUILDING
 500-YR FLOODPLAIN ELEV.=662.50 - WEST BUILDING
 100-YR FLOODPLAIN ELEV.=660.80 - EAST BUILDING
 500-YR FLOODPLAIN ELEV.=662.00 - EAST BUILDING

LEGEND:

	EXISTING	PROPOSED
UTILITIES		
COMMUNICATIONS	(CD)	CO
OVERHEAD LINE	(DHO)	OH
ELECTRIC	(E)	E
FIBER OPTIC	(FD)	FO
GAS	(G)	G
SANITARY SEWER	(SS)	SS
STORM	(ST)	ST
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	W
WATER: WELL	(WELL)	WELL
CHILLED WATER: SUPPLY	(CHWS)	CHWS
CHILLED WATER: RETURN	(CHWR)	CHWR
CONDENSATE	(CND)	CND
STEAM: HIGH PRESSURE	(HPS)	HPS
STEAM: LOW PRESSURE	(LPS)	LPS
COMMUNICATIONS HANDHOLE	(CCH)	(CCH)
COMMUNICATIONS PEDESTAL	(CPE)	(CPE)
COMMUNICATIONS MANHOLE	(CMA)	(CMA)
GUY WIRE ANCHOR	(GWA)	(GWA)
UTILITY POLE	(UP)	(UP)
UTILITY POLE WITH LIGHT	(UPL)	(UPL)
LIGHT POLE	(LP)	(LP)
ELECTRIC MANHOLE	(EMH)	(EMH)
ELECTRIC TRANSFORMER	(ET)	(ET)
TRAFFIC HANDHOLE	(THH)	(THH)
TRAFFIC MANHOLE	(TMH)	(TMH)
FIBER OPTIC HANDHOLE	(FOHH)	(FOHH)
FIBER OPTIC MANHOLE	(FOMH)	(FOMH)
GAS MANHOLE	(GMH)	(GMH)
GAS VALVE	(GV)	(GV)
SANITARY SEWER MANHOLE	(SSMH)	(SSMH)
SANITARY SEWER CLEANOUT	(SSCO)	(SSCO)
STORM SEWER MANHOLE	(SSWMH)	(SSWMH)
STORM SEWER INTAKE	(SSSI)	(SSSI)
HYDRANT	(H)	(H)
WATER VALVE	(WV)	(WV)
CURB STOP	(CS)	(CS)
WATER MANHOLE	(WMH)	(WMH)
POST INDICATOR VALVE	(PIV)	(PIV)
SITE		
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	(BWB)	(BWB)
FENCE: CHAIN LINK	(CL)	(CL)
FENCE: CONSTRUCTION	(CF)	(CF)
FENCE: VINYL	(VF)	(VF)
FENCE: WIRE	(WF)	(WF)
FENCE: WOOD	(WF)	(WF)
TREE LINE	(TL)	(TL)
DELINEATED WETLAND	(DW)	(DW)
100-YEAR FLOODPLAIN	(100)	(100)
500-YEAR FLOODPLAIN	(500)	(500)
STREAM CENTERLINE	(SC)	(SC)
BOLLARD	(B)	(B)
FLAG POLE	(FP)	(FP)
LANDSCAPE LIGHT	(LL)	(LL)
SHRUBBERY	(SR)	(SR)
TREE: DECIDUOUS	(TD)	(TD)
TREE: CONIFEROUS	(TC)	(TC)
MAIL BOX	(MB)	(MB)
POST	(P)	(P)
SIGN	(S)	(S)
PARKING METER	(PM)	(PM)
FIRE DEPARTMENT CONNECTION	(FDC)	(FDC)
WATER METER	(WM)	(WM)
HOSE BIB	(HB)	(HB)
YARD HYDRANT	(YH)	(YH)
DRINKING FOUNTAIN	(DF)	(DF)
MONITORING WELL	(MW)	(MW)



**GLENBROOK RIDGE
 SENIOR LIVING**
 DEVILS GLEN ROAD & FIELD SIKE ROAD
 BETTENDORF, IA

SHEET TITLE
 SITE PLAN

PROJECT NUMBER: 19-0078
 SHEET NUMBER:

C2.00

DRAWN BY: Author CHECKED BY: Checker

City of Bettendorf

Community Development Department
4403 Devils Glen Road
Bettendorf, Iowa 52772
563-344-4100

January 25, 2023

Case No. 22-097

Request: Major Change to an existing Site Development Plan (SDP) Location: 3150 Glenbrook Circle South and adjacent properties

Please consider this the Applicant's response to the Staff Report provided by Mark Hunt, dated December 21, 2022. We have tried to address each of the concerns based on the 3 Step process as described and commented on in the Staff Report. Those three Steps being the following:

1. Analyze Permitted Uses and Intensity,
2. Analyze Location and Design,
3. Analyze Compatibility.

The Applicant's justification is provided below in bold RED to delineate between the comment made and response.

Analysis of Permitted Uses and Intensity (Step 1)

The land uses currently in place at the Quartet are permitted in the Glenbrook Ridge UMI DCA. Strictly speaking, no new uses are being contemplated as part of the Major Change to the Quartet SDP; however, should this Major Change be approved, the petitioner is proposing a significant reduction in open space both in the existing Quartet SDP and the Glenbrook Ridge DCA overall.

The proposed reduction in open space changes the intensity of use at the Quartet site. Instead of having 120 units on an 11.38 acre site, the Major Change would result in 120 units on 8.3 acres. Thus, the dwelling units per acre would increase from 10.54 units to 14.46. This change represents a 37% increase in the total dwelling units per acre at the existing Quartet development.

UMI DCAs are allowed 17 units per acre under the City's zoning ordinance. While the proposed change does significantly increase the dwelling units per acre at the Quartet site, it does not surpass what is allowed.

This increase represents only the impact of removing the open space from the Quartet site. An official analysis has not been completed on any future development on these lots.

AS NOTED, THE REVISED SITE PLAN STILL MEETS CITY CODE AS IT RELATES TO DENSITY AND UNITS PER ACRE FOR THE UMI DCA USE.

Analysis of Location and Design (Step 2)

Table A-1-3D2 of the City's zoning ordinance provides a checklist of criteria to be considered in this step. The checklist and staff's response to each criterion is provided below.

FRONTAGE

Project frontage along a street should be similar to lot width. The approved Quartet SDP shows

approximately 486 feet of frontage along Glenbrook Circle South matched to a lot width of roughly 486 feet. The proposed Major Change to the Quartet SDP reduces the frontage along Glenbrook Circle South to approximately 165 feet, while the lot width remains 486 feet. The proposed Major Change does not meet this criterion.

THIS IS SIMILAR TO A CUL DE SAC SITUATION BEING THAT THE SITE IS LOCATED AT THE END OF A PRIVATE STREET. IT SHALL BE NOTED THAT THE SITE DOES HAVE THROUGH ACCESS TO ANOTHER PRIVATE STREET TO THE SOUTH AS WELL SO THERE IS CONTINUITY AND CONNECTION. THIS LOT ALSO CONNECTS TO THE NORTH AND HAS FRONTAGE ALONG GLENBROOK CIRCLE NORTH R.O.W. THAT COULD BE ACCCOUNTED FOR.

THIS IS A "SHOULD" CONDITION AND OPEN TO INTERPRETATION, AND FEEL WAS ESTABLISHED MORE FOR THE PURPOSE TO AVOID THE PLATTING OF FLAG LOTS, WHICH THIS IS NOT.

PARKING AND INTERNAL CIRCULATION

Parking should serve all structures with minimal conflicts between pedestrians and vehicles. The proposed Major Change does not appear to impact the parking and pedestrian flow of the approved site development plan.

All structures must be accessible to public safety vehicles. The proposed Major Change does not appear to impact the accessibility of emergency vehicles as shown on the approved SDP.

Development must have access to adjacent public streets and ways. Internal circulation should minimize conflicts and congestion at public access points. The proposed Major Change does not appear to impact access to adjacent public streets and ways, nor does it interfere with internal circulation.

NO ISSUES WITH CODE

LANDSCAPING

Landscaping should be integral to the development, providing street landscaping, breaks in uninterrupted paved areas, and buffering where required by surrounding land uses. Parts of sites with sensitive environmental features or natural drainageways should be preserved.

Staff contends the open space/drainage area is integral the Quartet's SDP and the Glenbrook Ridge DCA. The proposed Major Change appears to eliminate multiple trees from the Landscape Plan originally approved with the SDP. It also appears to remove buffering/transitioning, between the Quartet and the nearby townhomes and apartments. Changes to the existing drainage pattern would occur. The proposed Major Change does not meet this criterion.

AS NOTED, THE REMOVAL OF THE OPEN SPACE/DRAINAGE AREA DID INCLUDE ASSOCIATED LANDSCAPING PER THE ORIGINAL PLAN, WHICH WOULD NO LONGER BE VALID. HOWEVER, THIS LANDSCAPING WOULD BE ACCOMMODATED FOR WITH FUTURE PROPOSED SITE PLAN WITHIN THIS SAME BOUNDARY AND BE REQUIRED TO MEET ALL LANDSCAPING REQUIREMENTS PER CODE AT THE TIME OF SUCH SITE PLAN APPLICATION. IN ADDITION, THE APPLICANT INTENDS AND PROPOSES TO GO ABOVE AND BEYOND BY ADDING ADDITIONAL LANDSCAPING AND OUTDOOR PUBLIC AMENITIES TO THE SOUTH VIA TRAILS AND A PARK. SEE ATTACHED PROPOSED MASTER PLAN WHICH DEPICTS SUCH INTENTIONS.

Other.

The ability of the developer to provide the dog park as shown and required under the current

SDP is severely limited by the proposed Major Change. Staff finds this to have a negative impact on the proposed Major Change.

THE DOG PARK WILL STILL REMAIN AS EXISTING AND IS NOT INTENDED TO BE IMPACTED OR LIMITED.

The drainage area's pond and open space was a major focal point of the landscape aesthetic of the approved SDP. Removing this from the landscape has a significant impact to the look and feel of the built environment within the Glenbrook Ridge DCA. Staff finds this to have a negative impact on the proposed Major Change.

THIS DRAINAGE AREA WAS NOT A WET POND (RETENTION BASIN) BUT RATHER A DRY BASIN (DETENTION BASIN) WITH LITTLE TO NO VISUAL AESTHETICS OR APPEAL OTHER THAN AN OPEN GRASS AREA. A FULL LANDSCAPING PLAN WILL BE PART OF AND PROVIDED WITH THE FUTURE SITE PLAN FOR THE PROPOSED BUILDING, WITH FOCUS ON AESTHETICS AND FRONT FAÇADE APPEAL.

BUILDING DESIGN

Architectural design and building materials should be compatible with surrounding areas or highly visible locations.

The proposed Major Change does not appear to impact the architectural design of the existing SDP.

NO CHANGE MADE REGARDING ARCHITECTURAL, AND STILL MEETS THAT ORIGINALLY APPROVED AS NOTED.

TRAFFIC CAPACITY

Project should not obstruct traffic on adjacent streets. Compensating improvements will be required to mitigate impact on street system operations. The proposed Major Change does not appear to violate this criterion.

Larger commercial or office use areas should begin on or near arterial and collector streets.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

Smaller commercial uses areas may be appropriate to begin on or near collector and local streets.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

EXTERNAL TRAFFIC EFFECTS

Project design should attempt to direct non-residential traffic away from residential areas.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

OPERATING HOURS

Projects with long operating hours must minimize effects on surrounding residential areas.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

OUTSIDE STORAGE

Outside storage areas must be screened from surrounding streets and less intensive land uses. The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

SANITARY WASTE DISPOSAL

Developments within 300 feet of a public sanitary sewer must connect to sewer system. Individual disposal systems, if permitted, shall not adversely affect public health, safety, or welfare.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

Sanitary sewer must have adequate capacity to serve development. The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

STORM WATER MANAGEMENT

Development should handle storm water adequately to prevent overloading of public storm water management system. The proposed Major Change appears to indicate modifications to the stormwater management system for the Quartet, but a formal analysis of any changes to that system are premature at this time.

Storm water runoff should not inhibit development of other properties. See above.

Development should not increase probability of erosion, flooding, landslides, or other runoff-related effects.

SO NOTED AND ALL STORM WATER MANAGEMENT REQUIREMENTS MUST AND WILL BE MET AND ADDRESSED WITH THE FUTURE SITE PLAN APPLICATION PROCESS FOR THE PROPOSED BUILDING.

Compatibility (Step 3)

With this step of the analysis, the Code requires staff to consider if the proposed Major Change to the Quartet's SDP is compatible with the neighboring land uses. More specifically, what are the externalities of removing the 3.08-acre drainage area/open space from the Quartet's approved SDP and the Glenbrook Ridge UMI DCA.

Table A-1-3E1 of the City's zoning ordinance provides general guidance on addressing compatibility in the different DCAs. For UMI DCA's the code states:

Different types of land use are positioned to create a smooth internal transition from lower to higher intensity uses; however, this transition happens over a shorter distance than within the ULI designation.

Removing the open space/drainage from the Quartet's SDP and replacing it with development will reduce the internal transitioning and buffering between uses within the Glenbrook Ridge UMI DCA. The exact extent of this reduction is dependent upon the amount of development that occurs on the open space/drainage area. Staff contends that the open space/drainage area provides an important transitional buffer between the existing townhomes to north and the apartments to the east. The more this transitional buffer is eroded, the less supportive staff would be of the change.

One way to gauge what might be allowable under City code as a tradeoff for the loss of open space/drainage area is to look at the zoning code's guidance for the desirable housing mix in a UMI DCA. Table 11-8-3-C of City Code lists the desirable housing mix in a UMI DCA as 30-50% single-family detached; 20-25% attached dwellings; and 20-35% multi-family dwellings.

The current housing mix in the Glenbrook Ridge UMI DCA is 83% multi-family, 10% attached dwellings, and 7% single family. Considering this imbalance relative to the desired percentages, staff would recommend the applicant look at options such as single-family homes or townhomes that would help bring the DCA closer to the desired balance and be compatible with the surrounding land uses.

THE PREVIOUSLY APPROVED DCA DEPICTS MULTIPLE MULTI-FAMILY AND MULTI-STORY BUILDINGS WITHIN THE OPEN SPACE/DRAINAGE AREA NOTED. ALL OF WHICH INCLUDED SURFACE PARKING AND SIGNIFICANT IMPERVIOUS AREA. THE PROPOSED FUTURE BUILDING INTENDED TO BE BUILT WITHIN THIS SAME SPACE IS CONFINED WITHIN ONE BUILDING AND INCLUDES PARKING WITHIN THE BUILDING TO ALLOW FOR AESTHETIC AMENITIES, LANDSCAPING, AND STORMWATER MANAGEMENT.

THE HOUSING MIX DESCRIBED HAS NOT CHANGED IN ANY SIGNIFICANT FASHION WITH THE REVISED SITE PLAN WHICH THIS APPLICATION AND CASE DIRECTLY RELATES AS THE REVISED SITE PLAN REDUCES OPEN SPACE/DRAINAGE AND NOT HOUSING. THE PROPOSED HOUSING, TO BE ADDRESSED IN A FUTURE SITE PLAN APPLICATION, WILL INCLUDE INDEPENDENT LIVING UNITS. THIS INDEPENDENT LIVING HAS BEEN DETERMINED TO BE A MUCH NEEDED HOUSING TYPE WITHIN THIS AREA PER MARKET STUDIES AND ANALYSIS, AND PROVIDE THE CITY OF BETTENDORF AN ADDITIONAL RESIDENTIAL USER AVAILABLE UNITS. WHEN LOOKING AT THE OVERALL DCA PLAN, THIS WOULD SIMPLY REPLACE WHAT ORIGINALLY WAS DESIGNATED FOR MULTI-FAMILY (APARTMENT UNITS) AND THEREFORE, WE FEEL PROVIDES A MORE DIVERSE MIX AND BENEFIT TO THE DEVELOPMENT AS A WHOLE.

Staff Recommendation

Staff recommends denial of the proposed Major Change to the Quartet's existing SDP. Allowing such a change would not align with the location and design criteria specified in City Code. The Major Change appears to conflict with required improvements such as the dog park and landscaping required under the existing SDP. The change would also present significant compatibility issues and potentially worsen an imbalance in the desired housing mix for the Glenbrook Ridge UMI DCA.

AS DESCRIBED ABOVE, WE FEEL THAT THE PROPOSED MAJOR CHANGE TO THE QUARTET'S EXISTING SDP CONTINUES TO MEET CITY CODE IN ALL ASPECTS OF ANALYSIS. THOUGH CONCERNS MAY REMAIN FROM THE CITY AS IT RELATES TO A FUTURE SITE PLAN WITHIN THE EXISTING OPEN SPACE/DRAINAGE AREA, THESE DETAILS CAN AND WILL BE ADDRESSED THROUGH THAT SITE PLAN APPLICATION PROCESS.



CIVIL · STRUCTURAL · MECHANICAL · ELECTRICAL · SURVEY · SPECIALTY

WE HAVE INCLUDED THE REVISED DCA MASTER PLAN, WHICH ACCURATELY DEPICTS WHAT IS CURRENTLY BUILT TODAY WITHIN THE GLENBROOK DEVELOPMENT. THIS CAN BE USED TO COMPARE THE PREVIOUSLY APPROVED DCA TO WHAT HAS BEEN APPROVED AND BUILT TO DATE. IN ADDITION, WE HAVE INCLUDED THE MOST CURRENT "PROPOSED" MASTER PLAN THAT REPRESENTS WHAT IS INTENDED TO BE SUBMITTED IN TERMS OF THE QUARTET IL BUILDING AS WELL AS PROPOSED PARK, TRAILS, AND OPEN SPACE AMENITIES.



Glenbrook Ridge - Bettendorf, Iowa



GLENBROOK CIRCLE NORTH

GLENBROOK CIRCLE SOUTH

DEVILS GLEN ROAD

FW

FW

FW

FW

FW

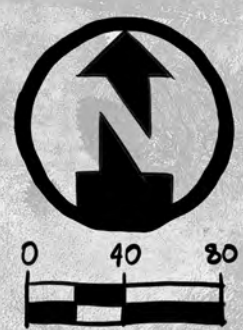
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GLENBROOK CIRCLE NORTH

GLENBROOK CIRCLE SOUTH

DEVILS GLEN ROAD

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